

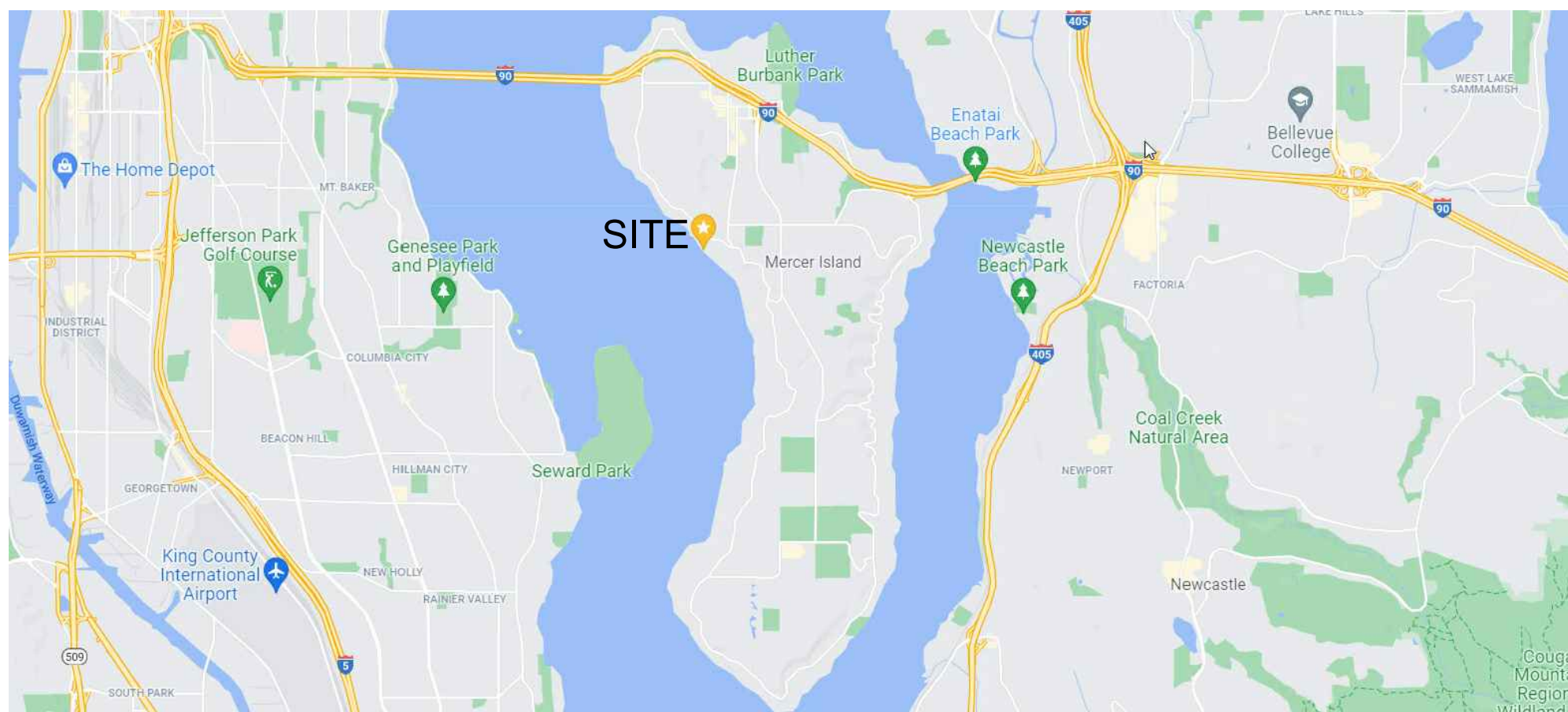
# MIST RESIDENCE PERMIT SET



CONCEPTUAL PROJECT IMAGE



CONCEPTUAL PROJECT IMAGE



VICINITY MAP

## LEGAL DESCRIPTION:

ISLAND PARK REPLAT OF POR SELY 1/2 OF 5 & NWLY 1/2 OF 6 BEG AT MOST WLY COR OF NELY 323 FT OF SELY 1/2 OF 5 TH SELY 90.67 FT TO MOST SLY COR OF NWLY 40 FT OF NELY 332.27 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 DIST 76.73 FT TH WLY 25 FT TO MOST SLY COR OF NWLY 25 FT OF NELY 429 FT OF SD 6 TH SWLY PLW SELY LN SD NWLY 1/2 OF 6 TO OUTER LIMITS OF SH LDS TH NELY ALG SD OUTER LIMITS TO PT ON SWLY EXT OF NWLY LN SD SELY 1/2 OF 5 TH NELY TO POB TGW UND 1/6 INT IN NWLY 10.00 FT OF NELY 203.00 FT OF SELY 1/2 OF SD LOT 5 TGW POR ADJ ELY & LESS POR NLY PER SCC #10-2-45130-7. PLAT BLOCK: C. PLAT LOT: 5-6

## ENERGY/MECHANICAL CODE COMPLIANCE:

- 1) WORK TO COMPLY WITH THE 2018 WSEC AND 2018 IMC.
  - 2) ALL GLAZING AND DOORS TO MEET MAXIMUM 0.28 U-FACTOR PER THE 2018 WSEC PRESCRIPTIVE UNLIMITED GLAZING REQUIREMENTS. REFER TO SHEETS A6.0-A6.3 FOR WINDOW SCHEDULE.
- VERTICAL GLAZING (U): 0.28\*  
OVERHEAD GLAZING (U): 0.50  
CEILING: R-49  
VAULTED CEILING: R-38  
WALL ABOVE GRADE: R-21 INT  
WALL INT. BELOW GRADE: R-21 TB  
WALL EXT. BELOW GRADE: R-10  
FLOOR: R-30\*  
SLAB ON GRADE: R-10  
\*SEE ITEM #8 REGARDING BUILDING ENVELOPE

- 3) A MINIMUM OF 75 PERCENT OF ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY PER WAC 51-11R.
- 4) PERMANENTLY MOUNTED EXTERIOR LIGHTS FIXTURES WILL BE HIGH EFFICACY UNLESS EQUIPPED WITH BUILT-IN PHOTO CONTROL SENSOR PER WSEC 505.2.

- 5) ALL BATHROOMS & TOILET ROOMS TO BE EQUIPPED WITH A MINIMUM 50 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN. ALL KITCHENS TO BE EQUIPPED WITH A MINIMUM 100 CFM INTERMITTENTLY OPERATING SOURCE SPECIFIC EXHAUST FAN PER IRC M 1507.4.

- 6) WHOLE HOUSE VENTILATION TO BE PROVIDED PER IRC M1507.3. MIN. OUTDOOR AIRFLOW RATE SHALL BE 105 CFM.

- 7) HEATING OPTION 2 - HEAT PUMP  
1 CREDIT

- 8) BUILDING ENVELOPE: VERTICAL FENESTRATION U = 0.28, FLOOR R-38 & CONTINUOUS R-10 UNDER SLAB  
(ENERGY CREDIT 1.3) 0.5 CREDITS

- 9) AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAX AT 50 PASCALS  
(ENERGY CREDIT 2.2) 1.0 CREDIT

- 10) HIGH EFFICIENCY HVAC: AIR SOURCE, CENTRALLY DUCTED HEAT PUMP W/ MIN. HSPF OF 9.5  
(ENERGY CREDIT 3.5) 1.5 CREDITS

- 11) EFFICIENT WATER HEATING: ENERGY STAR RATED GAS WATER HEATER WITH A MINIMUM UEF OF 0.91.  
(ENERGY CREDIT 5.3) 1.0 CREDIT

- 12) RENEWABLE ELECTRIC ENERGY OPTION. SOLAR PANELS TO BE INSTALLED ON GARAGE ROOF TO PROVIDE 1200 KWH OF ELECTRICAL GENERATION PER HOUSING UNIT ANNUALLY.  
(ENERGY CREDIT 6.1) 1.0 CREDIT

**TOTAL ENERGY CREDITS = 6 REQUIRED**  
BASED ON TABLE R406.3 FOR MEDIUM DWELLING UNIT.  
ENERGY SELECTIONS FROM WSEC TABLE R406.2.

## CONTACT INFORMATION:

**ARCHITECT:**  
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**STRUCTURAL ENGINEER:**  
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**GEOTECHNICAL ENGINEER:**  
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GEOTECH CONSULTANTS, INC  
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ROBW@GEOTECHNW.COM

**MECHANICAL ENGINEER:**  
NATALIE THROWER, P.E.  
FRANKLIN ENGINEERING  
KIRKLAND, WA  
PH: (425) 827-3324  
NATALIE@FRANKLINENG.COM

## PROJECT DATA:

**PARCEL NUMBER:** 362350-0395

**PROJECT ADDRESS:**  
4045 W MERCER WAY  
MERCER ISLAND, WA 98040

**LOT SIZE:** 12,289 SF

**ZONE:** R-15

**OCCUPANCY TYPE:** N/A

**CONSTRUCTION TYPE:** N/A

**AUTOMATIC SPRINKLER SYSTEM:**  
REQUIRED "NFPA 13R - PLUS"

**ENVIRONMENTALLY CRITICAL AREAS:**  
SHORELINE

**PROJECT DESCRIPTION:**  
CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE THAT INCLUDES PERMANENT AND TEMPORARY SHORING WALL SYSTEMS.

**FAR:**  
4,915 SF MAXIMUM

**LOT COVERAGE:**  
3,686 SF MAXIMUM

**REQUIRED YARDS:**  
FRONT YARD = 20 FT\*  
REAR YARD = 50FT FROM OHWM  
SIDE YARD = 10 FT

\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

**BUILDING HEIGHT:**  
MAX BUILDING HEIGHT = 30'-0"

**PROJECT GROSS SQUARE FOOTAGE:**  
MEASURED FROM EXTERIOR WALLS. INCLUDES UNHEATED AREAS.

**HEATED SPACES**

UPPER LEVEL	= 1,479 SF
MID LEVEL	= 1,800 SF
LOWER LEVEL	= 773 SF

**HEATED TOTAL = 4,052 SF**

**UNHEATED SPACES**

GARAGE	= 700 SF
UNHEATED MECH.	= 127 SF

**UNHEATED TOTAL = 827 SF**

**TOTAL GROSS = 4,879 SF**

## SHEET LIST:

**GENERAL:**  
G0.0 TITLE SHEET  
G0.1 GENERAL NOTES

**SURVEY**

**CIVIL:**  
C01 ESC PLAN  
C02 DRAINAGE PLAN  
C03 UTILITY PLAN  
C04 GRADING PLANS  
C05 TYPICAL DETAILS

**ARCHITECTURAL:**  
A0.1 ZONING DIAGRAMS  
A1.0 SITE PLAN  
A1.1 SITE SECTIONS

A2.1 LOWER LEVEL PLAN  
A2.2 MID LEVEL PLAN  
A2.3 UPPER LEVEL PLAN  
A2.4 ROOF PLAN

A3.0 BUILDING ELEVATIONS  
A3.1 BUILDING ELEVATIONS  
A3.2 BUILDING ELEVATIONS  
A3.3 BUILDING ELEVATIONS  
A3.4 BUILDING ELEVATIONS

A4.0 BUILDING SECTIONS  
A4.1 BUILDING SECTIONS  
A4.2 BUILDING SECTIONS  
A4.3 BUILDING SECTIONS

A5.0-5.2 BUILDING ASSEMBLIES

A6.0 WINDOW & DOOR SCHEDULE  
A6.1 WINDOW & DOOR SCHEDULE  
A6.2 WINDOW & DOOR SCHEDULE  
A6.3 WINDOW & DOOR SCHEDULE

A8.0 TYPICAL DETAILS  
A8.1 TYPICAL DETAILS

**STRUCTURAL:**  
S1.0 GENERAL NOTES  
S1.1 SHORING PLAN  
S1.2 SHORING ELEVATION & DETAILS  
S1.3 SHORING SCHEDULE & DETAILS  
S1.4 SHORING SECTIONS  
S2.0 LOWER LEVEL FOUNDATION PLAN  
S2.1 MAIN LEVEL FRAMING PLAN  
S2.2 SECOND FLOOR FRAMING PLAN  
S2.3 ROOF FRAMING PLAN  
S2.4 FRAMING ELEVATIONS  
S3.1 FOUNDATION DETAILS  
S3.2 FOUNDATION DETAILS  
S3.3 FOUNDATION DETAILS  
S4.1 TYPICAL FRAMING DETAILS  
S4.2 FRAMING DETAILS  
S4.3 FRAMING DETAILS

**LANDSCAPE:**  
L1.0 SITE PLANTING PLAN

**PROJECT:**  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

**CLIENT:**  
MIST LLC

**ISSUE:**  
PERMIT SUBMISSION 02.25.2022

PERMIT REVISIONS 1 08.12.2022

**DATE:**  
FEBRUARY 25, 2022

**SHEET TITLE:**  
TITLE SHEET

**SHEET:**

GO.0

## FIRE CODE ALTERNATE KEY NOTES: (XX)

1. HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
2. UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
3. PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
4. PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
5. PROVIDE 5/8" TYPE "X" ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
6. PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.



# MIST RESIDENCE PERMIT SET

## ABBREVIATIONS:

ABV	ABOVE	IBC	INTERNATIONAL BUILDING CODE
ACOUST	ACOUSTIC, ACOUSTICAL	INSUL	INSULATION
ACCY	ACCESSORY	INT	INTERIOR
ADDM	ADDENDUM	JB	JUNCTION BOX
ADDL	ADDITIONAL	JNT	JOINT
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LTG	LIGHTING
AFG	ABOVE FINISHED GRADE	MATL	MATERIAL
ALT	ALTERNATE, ALTERNATIVE	MAX	MAXIMUM
ALUM	ALUMINUM	MDO	MEDIUM DENSITY OVERLAY
ANCH	ANCHOR	MDF	MEDIUM DENSITY FIBER BOARD
APPROX	APPROXIMATELY		
ARCH	ARCHITECT, ARCHITECTURAL		
BB	BASEBOARD	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BLW	BELOW	MO	MASONRY OPENING
BM	BEAM	MTL	METAL
B/O	BOTTOM OF		
BRD	BOARD	N	NORTH
BTW	BETWEEN	(N)	NEW
CAB	CABINET	NIC	NOT IN CONTRACT
CALC	CALCULATION	NTS	NOT TO SCALE
CL	CENTERLINE		
CJNT	CONTROL JOINT	OCCUP	OCCUPANTS, OCCUPANCY
CLG	CEILING	OL	OCCUPANCY LOAD
CLR	CLEAR	O/	OVER
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CNTR	COUNTER, COUNTER SUNK	OPG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	ORD	OVERFLOW ROOF DRAIN
CONT	CONTINUOUS		
CORR	CORRIDOR	PNT	PAINT
CPT	CARPET	PEN	PENETRATION
CT	CERAMIC TILE	PERP	PERPENDICULAR
CTR	CENTER	PJ	PANEL JOINT
		PLAM	PROPERTY LINE
DBL	DOUBLE	PLWD	PLASTIC LAMINATE
DEG	DEGREE	PR	PLYWOOD
DEPT	DEPARTMENT	PRELIM	PRELIMINARY
DIA	DIAMETER	PT	PRESSURE TREATED
DIM	DIMENSION	PTN	PARTITION
DISP	DISPENSER		
DN	DOWN	R	RISER
DS	DOWN SPOUT	REC	RECCOMENDED
DW	DISHWASHER	REF	REFERENCE
DWG	DRAWING	REFR	REFRIGERATOR
		REINF	REINFORCED
E	EAST	REQD	REQUIRED
EA	EACH	RET	RETAINING
EL	ELEVATION	R O	ROUGH OPENING
ELEV	ELEVATOR		
ENGR	ENGINEER	S	SOUTH
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EQUIV	EQUIVALENT	SCWD	SOLID CORE WOOD
EXP	EXPANSION, EXPOSED	SF	SQUARE FEET, SQUARE FOOT
(E), EXST	EXISTING		
EXT	EXTERIOR	SHTG	SHEATHING
FAB	FABRICATE	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	STD	STANDARD
FF	FINISH FLOOR	STL	STEEL
FIN	FINISH	STOR	STORAGE
FLR	FLOOR	STRUCT	STRUCTURAL
FT	FEET, FOOT		
FTG	FOOTING	T	TEMPERED SAFETY GLASS
FUR	FURRING, FURRED	T&B	TOP AND BOTTOM
FV	FIELD VERIFY	TEMP	TEMPORARY
		T&G	TONGUE AND GROOVE
GA	GAUGE	THRU	THROUGH
GALV	GALVANIZED	T/O	TOP OF
GC	GENERAL CONTRACTOR	TOM	TOP OF MASONRY
GL	GLASS, GLAZING	TOS	TOP OF STEEL
GRT	GROUT	TOSL	TOP OF SLAB
GWB	GYPSON WALL BOARD	TOW	TOP OF WALL
		TYP	TYPICAL
HB	HOSE BIB	UNO	UNLESS NOTED OTHERWISE
HD	HEAD	VERT	VERTICAL
HDWD	HARDWOOD	VTO	VENT TO OUTSIDE
HDR	HEADER	VTR	VENT THROUGH ROOF
HM	HOLLOW METAL		
HORIZ	HORIZONTAL	W	WEST
HR	HOUR	W/	WITH
HT	HEIGHT	W/O	WITHOUT
		WIND	WINDOW
		WD	WOOD
		W/R	WATER RESISTANT
		WWF	WELDED WIRE FABRIC

## GENERAL PLAN NOTES:

- 1) REFER TO A5 SHEETS FOR WALL, FLOOR AND ROOF ASSEMBLY TYPES
- 2) ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- 3) INTERIOR DOORS TO BE INSTALLED 4-1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING IF NOT DIMENSIONED
- 4) ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING
- 5) REFER TO STRUCTURAL DOCUMENTS FOR ALL CONCRETE & FRAMING INFORMATION

## GENERAL CONSTRUCTION NOTES:

- 1) THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR CORRECTION.
- 2) BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE GENERAL CONTRACTOR AND ALL OF THE SUB-CONTRACTORS SHALL VERIFY ALL MEASUREMENTS ON THE DRAWINGS AND AT THE CONSTRUCTION SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS. ANY DISCOVERED DIFFERENCES SHALL BE REPORTED TO THE ARCHITECTS FOR DESIGN CONSIDERATIONS **BEFORE** PROCEEDING FURTHER WITH THE WORK. THE CONTRACTOR IS HEREBY ADVISED THAT THE DRAWINGS ARE NOT TO SCALE.
- 3) WORK SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- 4) CONTRACTOR SHALL KEEP ALL AREAS UNDER CONSTRUCTION CLEAR OF DIRT AND DEBRIS.
- 5) CONTRACTOR SHALL REPAIR DAMAGED SURFACES WHICH WERE DAMAGED BY CONSTRUCTION OR CLEAN-UP, AND CORRECT CONDITIONS TO MATCH SURROUNDING FINISHED CONDITIONS.
- 6) REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS DRAWN IN FULL.
- 7) DIMENSIONS ON DRAWINGS ARE TAKEN TO THE FACE OF CONCRETE AND TO THE FACE OF STUD, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
- 8) FIELD VERIFY MILLWORK DIMENSIONS AND ALL WINDOW AND DOOR DIMENSIONS.
- 9) PROTECT ALL PORTIONS OF THE EXISTING BUILDING OR SITE NOT SCHEDULED TO BE REMOVED, IF APPLICABLE, AND REPLACE OR REPAIR ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. PROVIDE PROTECTION AGAINST INCLEMENT WEATHER, WIND, FROST, EXCESSIVE HEAT, VANDALISM, AND ALL WORKERS, DELIVERY PERSONNEL, SUB-CONTRACTORS AND BUILDING INSPECTORS SO AS TO MAINTAIN ALL WORK, MATERIAL, APPARATUS AND FIXTURES FREE FROM DAMAGE, INCLUDING SURFACE SCRATCHES AND BLEMISHES. ALL NEW AND EXISTING WORK LIKELY TO BE DAMAGED SHALL BE APPROPRIATELY COVERED OR PROTECTED AT ALL TIMES. PROTECT ALL PLANTING AREAS FROM FOOT OR WHEEL TRAFFIC, AND AVOID CRUSHING SAME DUE TO STORED MATERIAL S.

## SYMBOLS:

	WINDOW TYPE
	EXTERIOR DOOR TYPE
	DOOR TYPE
	ASSEMBLY TYPE
	SECTION CALL OUT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM FAN
	DOWNSPOUT
	FLOOR DRAIN
	HOSE BIB

PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS 08.12.2022

DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
GENERAL CONDITIONS &  
ABBREVIATIONS

SHEET:

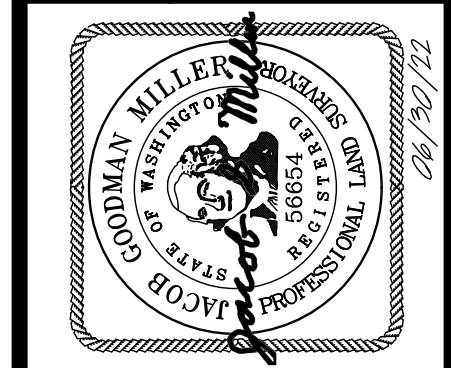
# G0.1



# TOPOGRAPHIC & BOUNDARY SURVEY

measure success

TOPOGRAPHIC & BOUNDARY SURVEY  
PARCEL NO. 3623500395  
MIST PROPERTY  
4045 W MERCER WAY  
MERCER ISLAND, WA 98040



**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

JOB NUMBER:	202326
DATE:	02/12/21
DRAFTED BY:	IDV-GKD
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
<b>REVISION HISTORY</b>	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
08/30/22	REV'D CALLOUTS
<b>SHEET NUMBER</b>	
1 OF 2	

**LEGAL DESCRIPTION**  
(REFERENCE SHEET 2 OF 2)

**BASIS OF BEARINGS**  
N 88°33'03" W BETWEEN FOUND MONUMENTATION ALONG SE 40TH ST - NAD83(11) PER GPS OBSERVATIONS

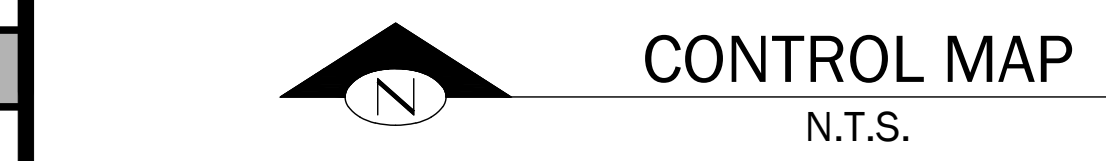
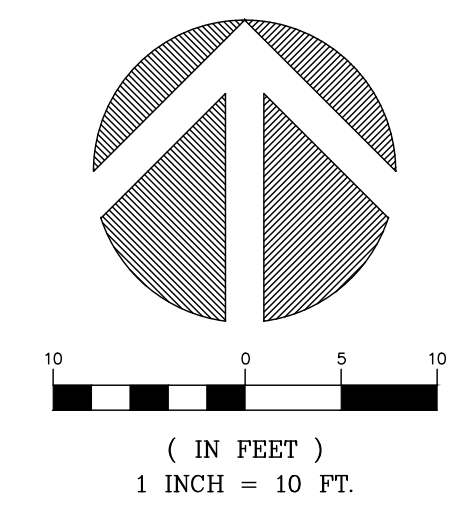
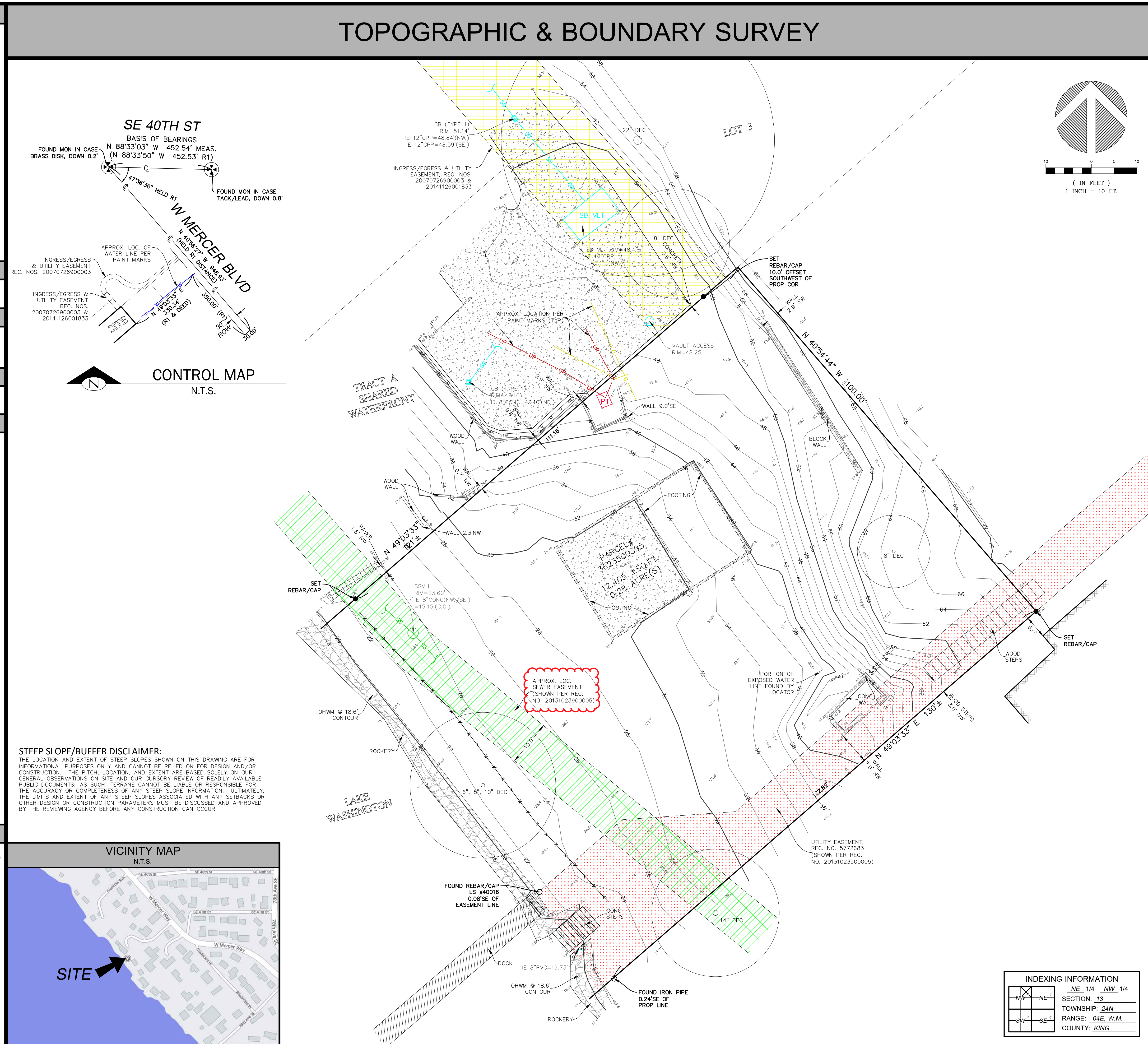
**REFERENCES**  
R1. RECORD OF SURVEY, VOL. 303, PG. 53, RECORDS OF KING COUNTY, WASHINGTON.

**VERTICAL DATUM**  
NAVD88 PER GPS OBSERVATIONS

- SURVEYOR'S NOTES**
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
  2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
  3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
  4. SUBJECT PROPERTY TAX PARCEL NO. 362350-0395.
  5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 12,405 ± S.F. (0.28 ACRES)
  6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE COMPANY'S COMMITMENT NO. 611265349, DATED DECEMBER 10, 2020. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT". TERRANE, INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
  7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

**LEGEND**

	BUILDING		MONUMENT IN CASE (FOUND)
	CENTERLINE ROW		PAVER SURFACE
	CULVERT PIPE		POWER (UNDERGROUND)
	CONCRETE SURFACE		POWER TRANSFORMER
	RETAINING WALL		WATER LINE
	ACCESS EASEMENT		ROCKERY
	SEWER EASEMENT		SEWER LINE
	UTILITY EASEMENT		SEWER MANHOLE
	DECK		STORM MANHOLE
	FENCE LINE (CHAIN LINK)		STORM DRAIN LINE
	GUARD RAIL		STORM DRAIN VAULT
	GAS LINE		TREE (AS NOTED)
	INLET (TYPE 1)		REBAR/IRON PIPE AS NOTED (FOUND)
	REBAR/IRON PIPE AS NOTED (FOUND)		REBAR & CAP (SET)





LEGAL DESCRIPTION

PARCEL I:  
THAT PORTION OF THE SOUTHEASTERLY HALF OF LOT 5 AND THE NORTHWESTERLY HALF OF LOT 6, BLOCK C, REPLAT OF ISLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY, WASHINGTON, AND SECOND CLASS SHORELANDS ADJOINING, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID NORTHWEST HALF OF LOT 6; THENCE SOUTH 49°02'46" WEST, ALONG THE SOUTHEASTERLY LINE THEREOF, 330.34 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 49°02'46" WEST, 126 FEET, MORE OR LESS, TO THE OUTER LIMITS OF THE SHORELANDS OF LAKE WASHINGTON; THENCE NORTHWESTERLY, ALONG SAID OUTER LIMITS, TO A POINT ON THE SOUTHWESTERLY EXTENSION OF THE NORTHWESTERLY LINE OF SAID SOUTHEASTERLY HALF OF LOT 5; THENCE NORTH 49°02'46" EAST, ALONG SAID NORTHWESTERLY LINE, 121 FEET, MORE OR LESS, TO A POINT WHICH BEARS NORTH 40°55'31" WEST FROM THE POINT OF BEGINNING; THENCE SOUTH 40°55'31" EAST, 100.00 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH AN UNDIVIDED INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY HALF OF LOT 5.

(AS DELINEATED AS MI CABANA LLC PARCEL C, BOUNDARY SURVEY FOR KING COUNTY SUPERIOR COURT CASE NO. 10-2-45130-7 RECORDED IN VOLUME 288 OF SURVEYS, PAGES 211 AND 212 UNDER RECORDING NO. 20120613900001 AND CORRECTED BY SURVEY RECORDED IN VOLUME 303 OF SURVEYS, PAGES 53 AND 54 UNDER RECORDING NO. 20131023900005, RECORDS OF KING COUNTY, WASHINGTON.)

PARCEL II:  
A NON-EXCLUSIVE EASEMENT FOR ACCESS DRIVEWAY CREATED IN THAT CERTAIN MASTER EASEMENT AND COST-SHARING AGREEMENT RECORDED UNDER RECORDING NO. 20141126001833, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

# TOPOGRAPHIC & BOUNDARY SURVEY

SCHEDULE B ITEMS

1. EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY  
PURPOSES: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE  
RECORDING DATE: MAY 26, 1953  
RECORDING NO.: 4351718  
AFFECTS: PORTION OF SAID LAND  
**"AS CONSTRUCTED -- AFFECTS SE 1/2 OF LOT"**
2. EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: MERCER ISLAND SEWER DISTRICT  
PURPOSES: SEWER PIPE LINE(S) AND APPURTENANCES  
RECORDING DATE: MAY 6, 1959  
RECORDING NO.: 5028740  
AFFECTS: THE WESTERLY PORTION  
**"NOT PLOTTED --AS CONSTRUCTED"**
3. EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
PURPOSES: INGRESS AND EGRESS AND UTILITIES  
RECORDING DATE: JUNE 26, 1964  
RECORDING NO.: 5753801  
AFFECTS: THE SOUTHEASTERLY PORTION  
THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR CAUSE NO. 96-2-31077-B.  
PARTIAL RELEASE AND TERMINATION OF INGRESS AND EGRESS AND UTILITIES EASEMENT RECORDED UNDER RECORDING NUMBER 20170526000619.  
**"EASEMENT TERMINATED IN 2017, HOWEVER ANY UTILITIES WITHIN THE SW'LY 5' OF THE NE'LY 155' OF THE SE 1/2 OF PARCEL SHALL REMAIN VALID"**
4. EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
PURPOSES: UTILITIES  
RECORDING DATE: AUGUST 11, 1964  
RECORDING NO.: 5772683  
AFFECTS: THE SOUTHEASTERLY PORTION  
**"PLOTTED -- PER REC. NO. 20131023900005"**
5. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS AS SET FORTH IN THE STATUTORY WARRANTY DEED.  
RECORDING DATE: MAY 8, 1974  
RECORDING NO.: 7405080269  
**"NOT PLOTTED -- ALLOWS FOR THE CONSTRUCTION OF A DOCK AND A GARAGE"**
6. TERMS AND CONDITIONS OF NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES, RECORDED UNDER RECORDING NUMBER 7712060812.  
**"BLANKET IN NATURE"**
7. RECIPROCAL EASEMENTS, FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CREATED BY THE FOLLOWING DOCUMENT:  
DOCUMENT: EASEMENT AGREEMENT  
EXECUTED BY: WILBERT C. ANDERSON AND SUZENNE H. ANDERSON; AND STAVE AND BECKY SHOWALTER  
PURPOSES: WALKWAYS; MAINTENANCE OF ROCKERY AND FENCE; AND RIGHT OF WAY TO TRIM TREES  
RECORDING DATE: APRIL 18, 1988  
RECORDING NO.: 8804180124  
AFFECTS: PORTIONS OF SAID LAND  
THE TERMS OF SAID EASEMENT HAVE BEEN MODIFIED BY JUDGMENT FILED IN KING COUNTY SUPERIOR CAUSE NO. 96-2-31077-B.  
**"NOT PLOTTED -- REFERS TO LOCATION OF A WALKWAY AND A ROCKERY, AS CONSTRUCTED"**
8. WALKWAY EASEMENT AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: MARCH 23, 1989  
RECORDING NO.: 8903230062  
**"NOT PLOTTED -- EASEMENT AFFECTS NE ADJOINING PARCEL"**
9. MATTERS CONTAINED IN THAT CERTAIN DRIVEWAY MAINTENANCE AGREEMENT WHICH DOCUMENT, AMONG OTHER THINGS, MAY PROVIDE FOR LIENS AND CHARGES.  
RECORDING DATE: DECEMBER 18, 1990  
RECORDING NO.: 9012180990  
**"BLANKET IN NATURE"**
10. TERMS AND CONDITIONS OF PROVISIONS CONTAINED IN JUDGMENT NUMBER 98-9-07729-3, FILED IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 96-2-31077-B, REGARDING APPURTENANCE EASEMENTS AND RIGHTS THERETO.  
PEDESTRIAN EASEMENT TERMINATION RECORDED UNDER RECORDING NUMBER 20160802001219.  
**"NOT PLOTTED -- TERMINATION OF PEDESTRIAN EASEMENT"**
11. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS AS SET FORTH ON THE CITY OF MERCER ISLAND SHORT SUBDIVISION NO. SUB05-006:  
RECORDING NO: 20070726900003  
**"PLOTTED"**
12. ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY,  
RECORDING DATE: APRIL 14, 2010  
RECORDING NO.: 20100414900004  
MATTERS SHOWN: LOCATION OF WOOD STAIRS IN THE SOUTHEASTERLY PORTION AND AN ENCRoACHMENT OF WOOD RETAINING WALL ONTO THE NORTHWESTERLY ADJACENT PROPERTY.  
**"CURRENT CONDITIONS SHOWN"**
13. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, STIPULATIONS AND OTHER MATTERS AS SET FORTH IN THE JUDGMENT QUIETING TITLE AND ORDER DISMISSING REMAINING CLAIMS FOR KING COUNTY COURT CASE NO. 10-2-45130-7:  
RECORDING NO: 20120702000622  
  
NOTE: THE COMPANY QUESTIONS THE VALIDITY OF AN UNDIVIDED ONE-THIRD INTEREST IN THE NORTHWESTERLY 10 FEET OF THE NORTHEASTERLY 203 FEET OF SAID SOUTHEASTERLY ONE-HALF OF LOT 5 STATED THEREIN BASED ON THE CONVEYANCE OF ONE HALF INTEREST OF SAID TRACT BY THAT CERTAIN WARRANTY DEED RECORDED UNDER RECORDING NO. 20050513002477.  
BOUNDARY LINE SURVEY THERETO,  
RECORDING DATE: JUNE 13, 2012  
RECORDING NO.: 20120613900001  
  
AMENDMENT OF SAID SURVEY,  
RECORDING DATE: OCTOBER 23, 2013  
RECORDING NO.: 20131023900005  
**"CURRENT CONDITIONS SHOWN (R1)"**
14. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: SEPTEMBER 18, 2013  
RECORDING NO.: 20130918001578  
**"BLANKET IN NATURE"**
15. MASTER EASEMENT AND COST-SHARING AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:  
BY AND BETWEEN: HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; BRET W. CHATALAS AND ANGELA R. CHATALAS, HUSBAND AND WIFE; AND RAMI KARJIAN AND SUSAN KARJIAN, HUSBAND AND WIFE; MI CABANA, LLC, A WASHINGTON LIMITED LIABILITY COMPANY; AND HUNSAKER PARKSIDE, LLC, A WASHINGTON LIMITED LIABILITY COMPANY  
RECORDING DATE: NOVEMBER 26, 2014  
RECORDING NO.: 20141126001833  
  
AMONG OTHER THINGS, SAID INSTRUMENT STATES AS FOLLOWS:  
RESCISSION, TERMINATION, EXTINGUISHMENT AND INTENT TO SUPERSEDE PRIOR RECORDINGS, UPON RECORDING, THIS AGREEMENT SHALL RESCIND, TERMINATED, EXTINGUISH, REPLACE AND SUPERSEDE IN WHOLE ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN FEBRUARY 11, 2005 DRIVEWAY CONSTRUCTION AGREEMENT REFERENCED IN THE RECORDED FEBRUARY 22, 2005 MEMORANDUM OF AGREEMENT, KING COUNTY RECORDING NUMBER 20050222000834 ("2005 DCA") AND ALL RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED IN THAT CERTAIN RECIPROCAL EASEMENT AGREEMENT, KING COUNTY RECORDING NUMBER 20080331002408 ("2008 EASEMENT"). THE 2005 DCA AND THE 2008 EASEMENT ARE HEREBY AND FOREVER RESCINDED, TERMINATED, EXTINGUISHED, REPLACED AND SUPERSEDED BY THIS AGREEMENT. UPON RECORDING, THE RIGHTS, DUTIES, OBLIGATIONS, TERMS AND CONDITIONS SET FORTH AND CONVEYED HEREIN SHALL GOVERN AND CONTROL THE REPAIR, MAINTENANCE AND USE OF THE EASEMENT AREA, THE ACCESS DRIVEWAY AND THE SHARED WATERFRONT TRACT.  
**"BLANKET IN NATURE"**
16. ARMY CORPS OF ENGINEERS PERMIT AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: AUGUST 14, 2015  
RECORDING NO.: 20150814001062  
**"BLANKET IN NATURE"**

measure success

TOPOGRAPHIC & BOUNDARY SURVEY  
PARCEL NO. 3623500395

MIST PROPERTY  
4045 W MERCER WAY  
MERCER ISLAND, WA 98040



**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

JOB NUMBER:	202326
DATE:	02/12/21
DRAFTED BY:	TLR
CHECKED BY:	JGM/CSP
SCALE:	N.T.S.
REVISION HISTORY	
9/29/21	TITLE REPORT
01/28/22	ADDED WATER LINE
08/30/22	REV'D CALLOUT
SHEET NUMBER	
2 OF 2	

INDEXING INFORMATION	
	NE 1/4 NW 1/4
	SECTION: 13
	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING



**KEY NOTES:**

KEY	NOTE:	DETAIL/SHEET
SDI	INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE	D/C06
CE	INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	A/C06
PP	INSTALL APPROX 240 LF PERIMETER PROTECTION* SEE KEYNOTE 11 FOR ADDITIONAL INFORMATION	B/C01 B/C06
VEF	TREE PROTECTION FENCING	A/C01
SP	PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	-
SW	CONTRACTOR TO SWEEP ROAD DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT	-
RE	ALL EX ONSITE HARD SURFACES (INCLUDING STAIRS/FENCE/WALLS) TO BE REMOVED UNLESS OTHERWISE NOTED	-
SA	SOIL AMENDMENT (TYP)	F/C06
1	TREE TO REMAIN	-
2	CONTRACTOR TO PROTECT EX STORM INFRASTRUCTURE (TYP)	-
3	CUT AND CAP EX GAS SERVICE AT PROPERTY LINE FOR REUSE. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
4	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS)	-
5	WALL TO BE REMOVED	-
6	EX ROCKERY BULKHEAD AND STAIRS TO REMAIN	-
7	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. CONTRACTOR TO LOCATE FOR REUSE. PROJECT IS TO REUSE EXISTING STUB IF IN ADEQUATE CONDITION. SEE GENERAL NOTE 2 THIS SHEET	J/C07
8	INTERCEPTOR SWALE PER DOE BMP C200. INSTALLATION REQUIRED FOR WET WEATHER WORK ONLY TOP WIDTH: 2' MIN HEIGHT: 1.5' MIN SIDE SLOPE: 2H:1V BOTTOM ELEV (HIGH ELEV END) 26.50± APPROX BOTTOM ELEV (LOW ELEV END AT SEDIMENT TRAP) 26.00±	-
9	120 SF (MIN SURFACE AREA) SEDIMENT TRAP WITH OUTLET TO LAKE. INSTALLATION REQUIRED FOR WET WEATHER WORK ONLY BOTTOM ELEV: 24.50± OVERFLOW ELEV 27.00± TOP ELEV 28.00± (CONSTRUCT W/ BERM (I.E. SANDBAGS) AS NEEDED)	C/C06
10	MINIMAL CONSTRUCTION DISTURBANCE TO OCCUR WITHIN THIS AREA. REMOVE WOOD STEPS BY HAND CONSTRUCT WIRE-BACKED SILT FENCE BEDDED IN COMPOST, NOT NATIVE SOIL OR SAND, AS CLOSE AS POSSIBLE TO THE PLANNED WORK AREA. EXISTING VEGETATION BETWEEN FENCE AND LAKE SHORE TO BE LEFT IN PLACE TO MAXIMUM EXTENT FEASIBLE DURING CONSTRUCTION	-
11		-

**PROJECT INFORMATION:**

**ADDRESS:**  
4045 W MERCER WAY  
MERCER ISLAND, WA 98040  
"WESTVIEW RESIDENCE"

**OWNER/APPLICANT:**  
MIST LLC  
7683 SE 27TH ST, UNIT #418  
MERCER ISLAND, WA 98040  
CONTACT: FERAS ALROUK

**ARCHITECT:**  
MCCLELLAN ARCHITECTS  
3309 WALLINGFORD AVE N  
SEATTLE, WA 98103  
PH: (206) 728.0480  
CONTACT: JOEY PASQUINELLI

**CIVIL ENGINEER:**  
DAVIDO CONSULTING GROUP, INC.  
9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
PH: (206) 523.0024  
CONTACT: BEN IDDINS, P.E.

**SURVEYOR:**  
TERRANE  
10801 MAIN STREET, SUITE 102,  
BELLEVUE, WA 98004  
PH: (425) 458.4488

**GEOTECHNICAL ENGINEER:**  
GEOTECH CONSULTANTS, INC.  
2401 10TH AVE E  
SEATTLE, WA 98102  
PH: (435) 747.5618  
CONTACT: ADAM MOYER

**GENERAL NOTES:**

- PER GEOTECHNICAL REPORT, "IF WET WEATHER CONSTRUCTION IS ANTICIPATED, TWO PARALLEL SILT FENCES SHOULD BE INSTALLED ALONG THE SHORELINE."
- CCTV INSPECTION OF THE EXISTING SIDE SEWER TO THE SEWER MAIN IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE CCTV SHOWS THE SIDE SEWER TO BE IN UNSATISFACTORY CONDITION (AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR), REPLACEMENT OF EXISTING SIDE SEWER STUB TO MAIN IS REQUIRED. LOCATION OF SEDIMENT TRAP AND SWALE MAY NOT BE LOCATED WITHIN EXISTING EASEMENTS AND EARTHWORK ASSOCIATED WITH CONSTRUCTING THESE BMPs CANNOT IMPACT EASEMENTS OR EXISTING INFRASTRUCTURE.

**ABBREVIATIONS:**

- BM = BENCHMARK
- BOTS = BOTTOM OF STAIR
- CB = CATCH BASIN
- CONC = CONCRETE
- DOE = DEPARTMENT OF ECOLOGY
- EX = EXISTING
- EG = EXISTING GRADE
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOWLINE
- IE = INVERT ELEVATION
- LSCAPE = LANDSCAPING
- M.I.C. = MONUMENT IN CASE
- NO. = NUMBER
- STD = STANDARD
- TOC = TOP OF CURB
- TOP = TOP OF PAVEMENT
- TOPS = TOP OF STAIR
- TYP = TYPICAL
- W/ = WITH

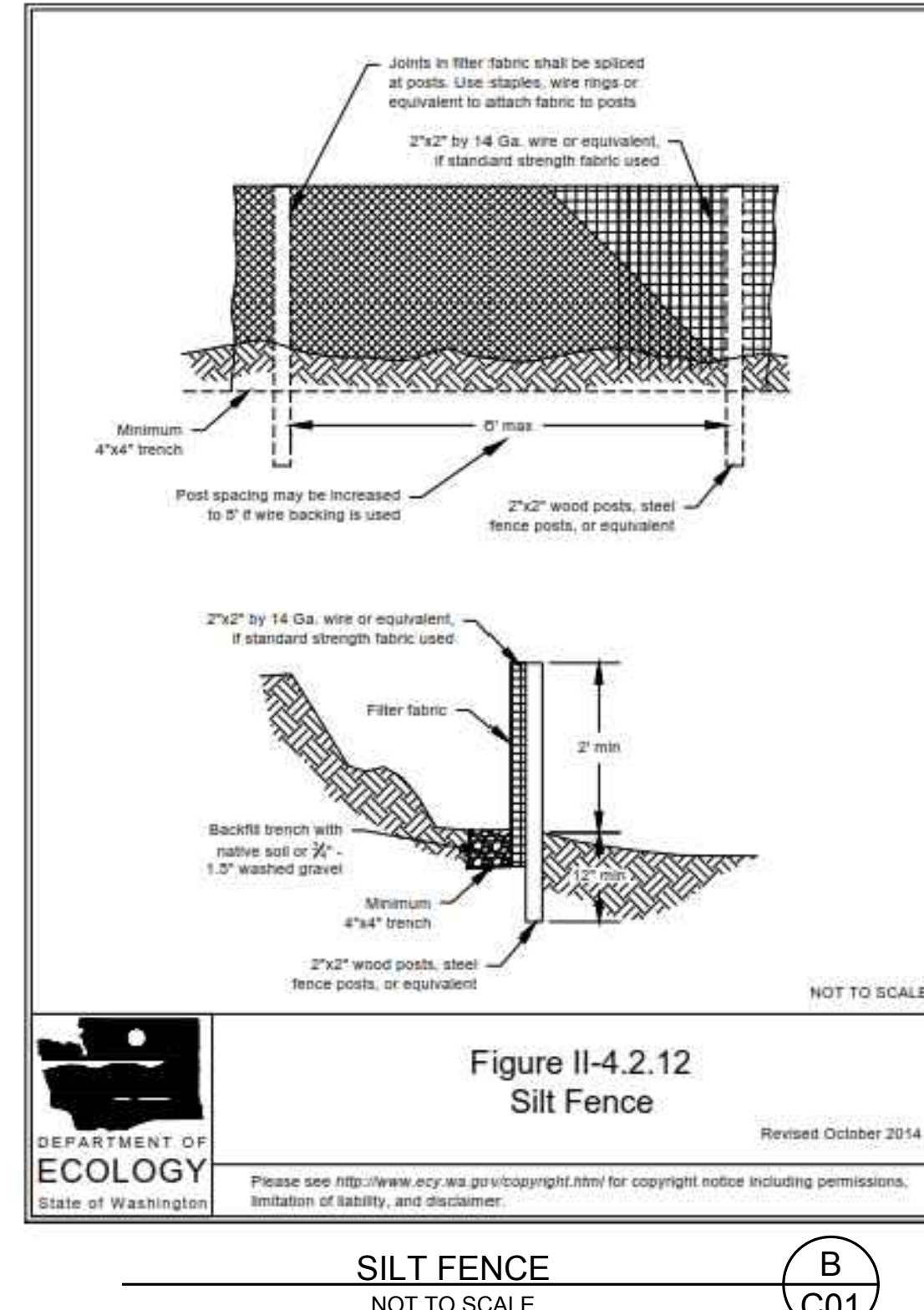
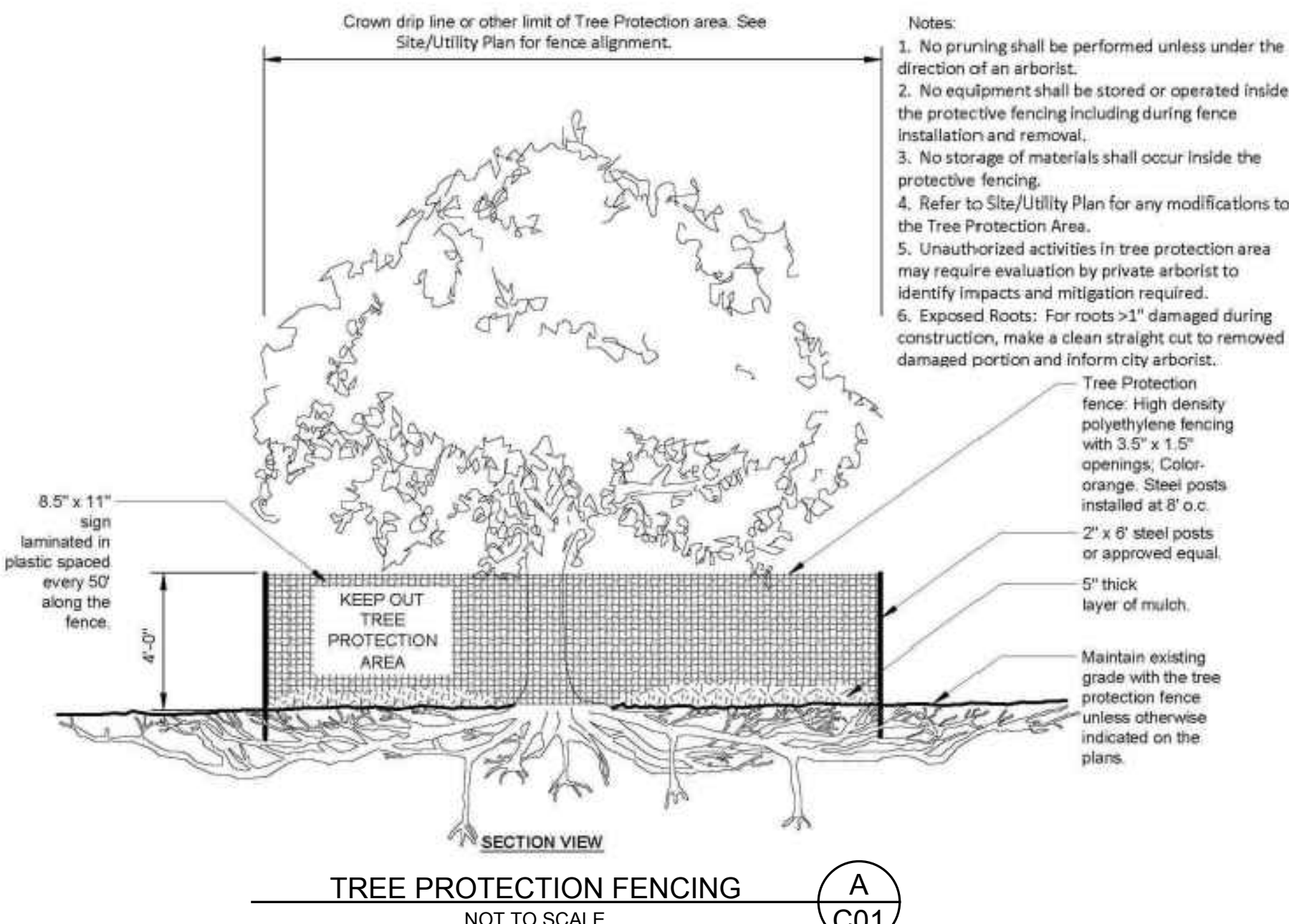
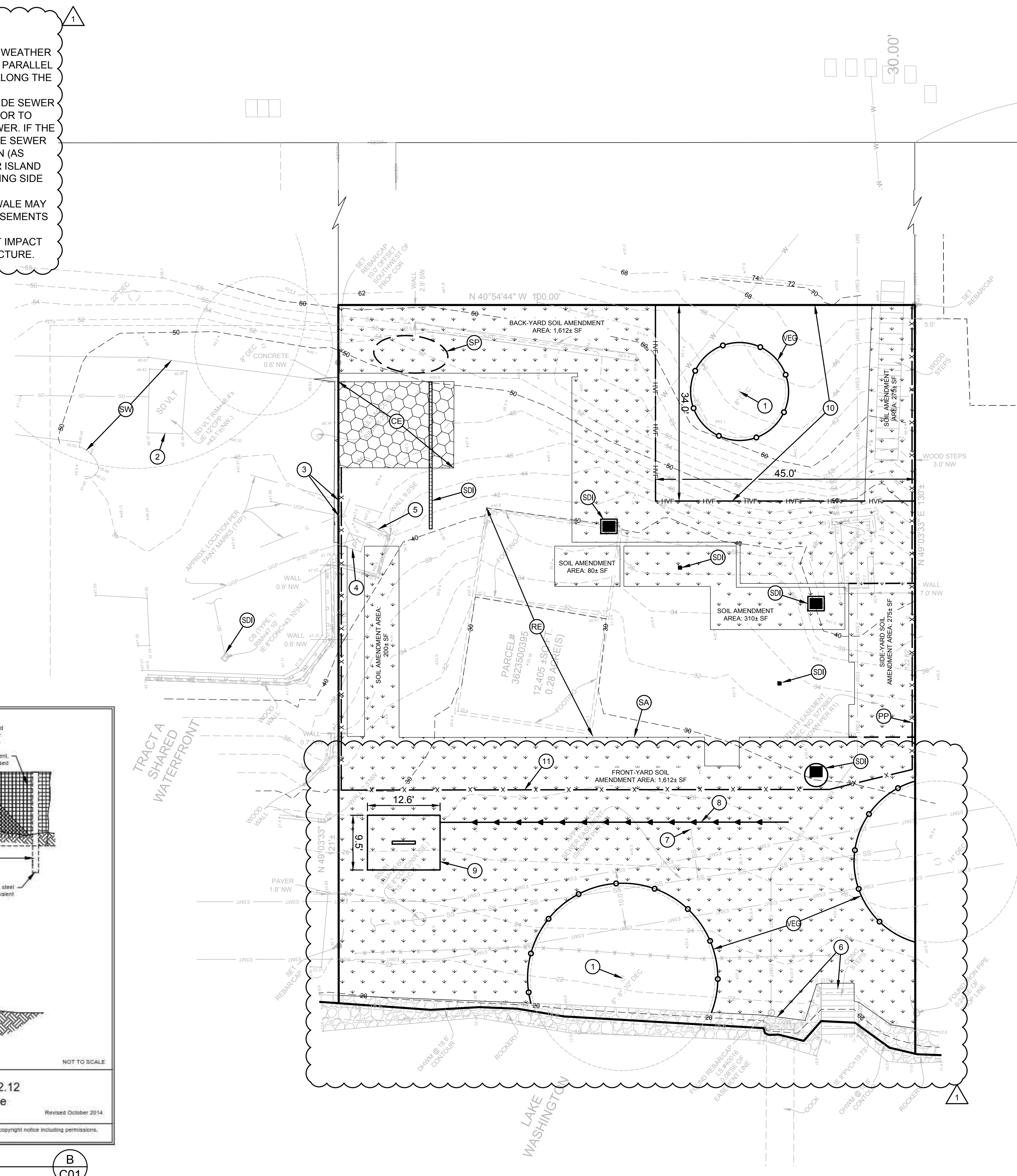
**LEGEND:**

- STABILIZED CONSTRUCTION ENTRANCE
- SOIL AMENDMENT (F/C06)
- PERIMETER PROTECTION
- HIGH VISIBILITY FENCING
- TREE PROTECTION FENCING
- STOCKPILE LOCATION

\* INSTALL PERIMETER PROTECTION, SUCH AS SILT FENCING, COMPOST SOCKS, OR STRAW WATTLES IN ACCORDANCE WITH 2012 DEPARTMENT OF ECOLOGY (AMENDED IN 2014) MANUAL

**W MERCER BLVD.**

N 40°56'27" W 948.93' (HELD R1 DISTANCE)



**REVISION**

No.	DATE	BY	REVISION
1	8/1/2022	JL	CYCLE 1 CITY REVIEW COMMENTS

**OWNER:** MIST LLC- ATTN: FERAS ALROUK  
7683 SE 27TH ST, UNIT #418  
MERCER ISLAND, WA 98040

**PROJECT:** 4045 WEST MERCER WAY  
MERCER ISLAND, WA 98040  
SMALL PARCEL ESC PLAN

**PROJ. MANAGER:** BI  
**DESIGNED BY:** JL  
**DRAWN BY:** GS  
**CHECKED BY:** BI

**SCALE:** AS SHOWN  
**DATE:** 8/1/2022  
**REV:** 1  
**SHEET:** 1  
**OF:** 7

**SHEET NUMBER**  
**C01**

**DCOG** civil structural  
CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

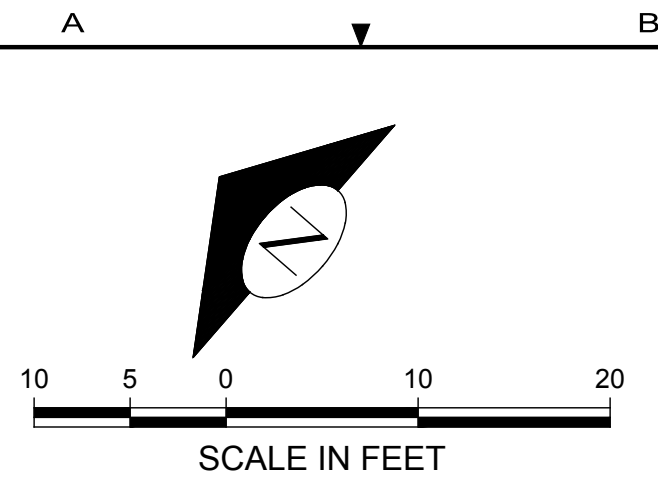
**LEED AP**  
LEED ACCREDITED PROFESSIONALS & THE RELATED ACRONYMS AND THE CITY OF MERCER ISLAND ARE TRADE MARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206 523 0024  
F: 206 523 1012  
www.dcgengr.com

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 W MERCER WAY\MERCER ISLAND\_BP PLANS.DWG  
LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 W MERCER WAY\_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D 36.00 X 24.00 INCHES  
AUTOCAD VERSION: CIVIL 3D 2017

NOTE: THIS PLAN IDENTIFIES THE MINIMUM MEASURES REQUIRED; ADDITIONAL MEASURES MAY BE REQUIRED BASED ON CONSTRUCTION METHODS AND ACTUAL AREA OF DISTURBANCE.





**LEGEND:**

- CONCRETE
- LANDSCAPE
- DECK
- HIGH VISIBILITY FENCING
- TREE PROTECTION FENCING

**DRAINAGE NOTES:**

- ROOF DRAINS:**
- NUMBER AND SIZE SHALL BE IN CONFORMANCE WITH THE UNIFORM PLUMBING CODE.
  - DOWNSPOUTS SHALL BE TIED INTO A NON-PERFORATED, RIGID, SMOOTH-BORE PIPE, WHICH DRAINS TO AN APPROVED STORM SYSTEM.
  - DRAINPIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, GR F-405 FOR SMOOTH-BORE H.D.P.E. PIPE.
  - PROVIDE CLEANOUTS AT THE UPPER END OF THE SYSTEM AND AT EACH CUMULATIVE CHANGE OF DIRECTION IN EXCESS OF 135 DEGREES.
  - ALL PIPE FITTINGS SHALL BE MADE OF THE SAME MATERIAL AS THE STRAIGHT PIPE. GLUED JOINTS SHALL USE A BONDING AGENT RECOMMENDED BY THE PIPE MANUFACTURER.

- FOOTING DRAINS:**
- FOOTING DRAINS SHALL BE INSTALLED AROUND ALL FOUNDATIONS WHICH ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE OR OTHER BUILDING SPACE.
  - DRAINS SHALL BE CONSTRUCTED OF PERFORATED PIPE INSTALLED AT THE BASE OF THE FOOTING.
  - DRAIN PIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR P.V.C. PIPE, WITH THE PERFORATIONS DIRECTED DOWNWARD.
  - GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE FOOTING DRAIN TO A DEPTH OF 2/3 OF THE HEIGHT OF THE WALL.

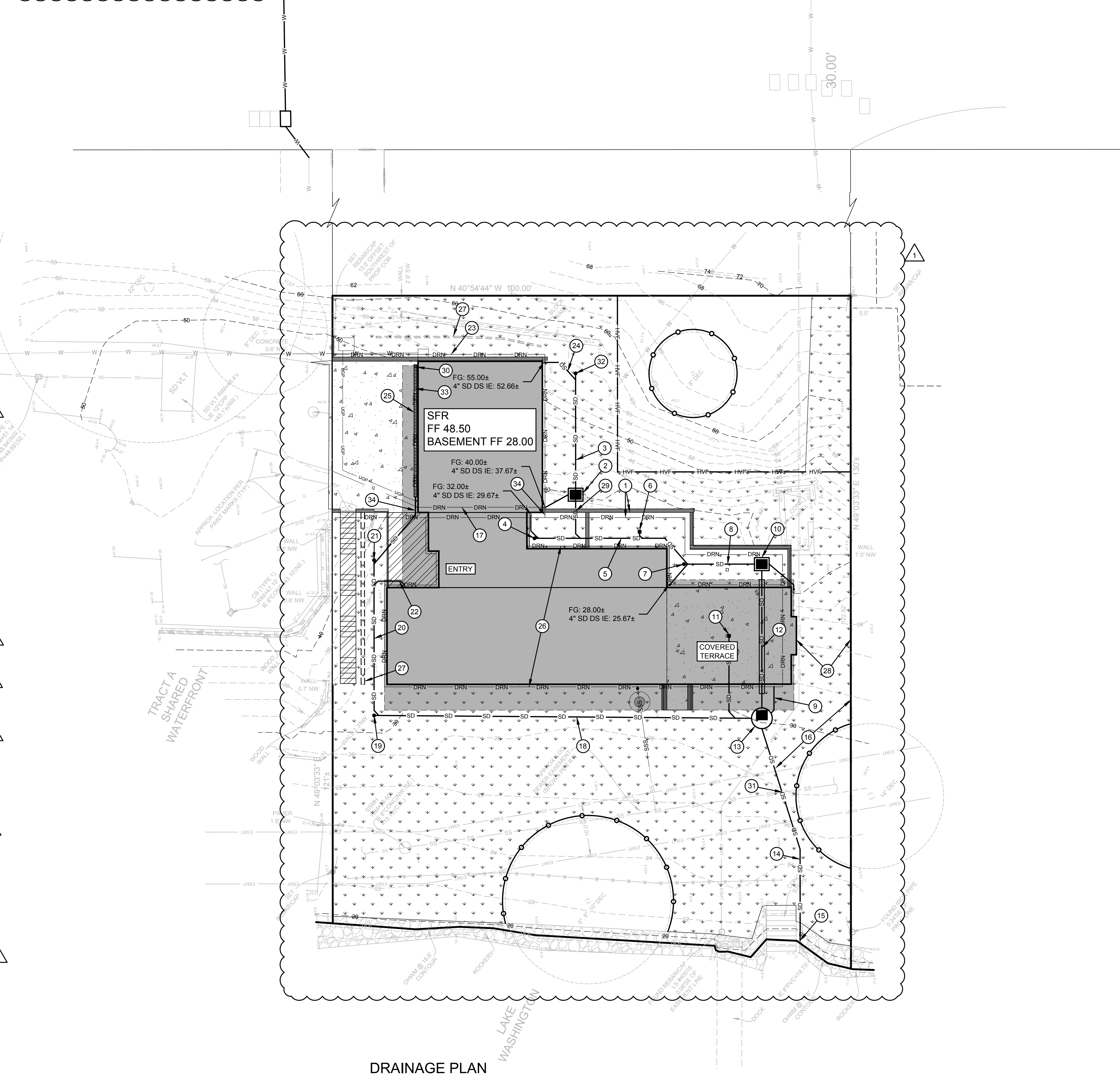
- GENERAL:**
- SLOPE ALL DRAIN LINES AT 2% MINIMUM TOWARD THE OUTLET.
  - PROVIDE CLEANOUTS OR CONTROL STRUCTURES AS APPROPRIATE.
  - ALL DRAINAGE PIPING AND STRUCTURES ARE SUBJECT TO INSPECTION PRIOR TO BACKFILLING.
  - ROOF AND FOOTING DRAINS MAY BE COMBINED BEYOND THE LOWEST POINT OF THE FOOTING DRAIN.
  - USE SAND COLLARS AT CB CONNECTIONS TO P.V.C. PIPE.
  - UNLESS OTHERWISE SPECIFIED, 6" STORM DRAIN PIPE FOR ROOF DRAINS AND SEWER PIPE SHALL BE SDR35 PVC PIPE.
  - ALL FOOTING DRAIN AND PERFORATED PIPE SHALL BE D2729 PVC PIPE WITH THE PERFORATIONS DIRECTED DOWNWARDS.
  - ALL PERF PIPE SHALL BE 4" DIAMETER UNLESS OTHERWISE SHOWN.
  - CONTRACTOR TO VERIFY INVERTS OF STORM DRAIN IN ROW AND ADJUST ONSITE STORM SYSTEM AS NECESSARY.
  - CONTRACTOR TO FIELD LOCATE AND REROUTE ANY POTENTIAL UTILITY CONFLICTS WITH DETENTION FACILITY PRIOR TO CONSTRUCTION.
  - THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS-13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT. CONTRACTOR MUST PROVIDE CIVIL ENGINEER W/ INFORMATION PROVING THE POST-CONSTRUCTION SOILS MEET THESE REQUIREMENTS.

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	PERMANENT SHORING & CATCHMENT WALL. INSTALL PLASTIC BACKED DRAINAGE COMPOSITE (MIRADRAIN OR EQUIVALENT) AND INSTALL WEEP PIPES MIN 6" ON CENTER DRAINING TO THE FOOTING DRAIN. SEE GEOTECHNICAL REPORT FOR FURTHER INFORMATION 4" IE 26.50±	K/C07
2	TYPE 1 CB W/ OPEN GRATE LID RIM 40.00 4" IE (N) 37.50 (DS) 4" IE (W) 37.50 (DS) 6" IE (S) 37.00	G/C06
3	23 LF 4" SD @ 2.00% MIN	-
4	6" SDCO RIM 32.00 6" IE 26.20	H/C06
5	33 LF 6" SD @ 2.00% MIN	-
6	6" AREA DRAIN AND TIGHTLINE RIM 27.75 4" IE 26.00	-
7	6" SDCO RIM 27.90 6" IE 25.50	H/C06
8	14 LF 6" SD @ 2.00% MIN	-
9	FOOTING DRAIN TIGHTLINE @ 2.00% MIN	-
10	TYPE 1 CB W/ OPEN GRATE LID RIM 27.75 4" IE (E) 25.20 (DS) 6" IE (W) 25.20 6" IE (S) 25.10	G/C06
11	6" AREA DRAIN AND TIGHTLINE. MEP TO DETERMINE FINAL ROUTING. CONSULT CIVIL ENGINEER IF CASING PIPE REQUIRED RIM 27.75 4" IE 26.00	-
12	29 LF 6" SD PIPE IN 12" DI SLEEVE UNDER BUILDING SLAB. CONTRACTOR TO INSTALL @ MIN 6" OF COVER FROM BUILDING FOUNDATION ELEVATION (ELEV -26.50±) & @ 2.00% MIN SLOPE. CONTRACTOR TO PROVIDE CASING SPACERS AND RUBBER END SEAL ON BOTH ENDS BETWEEN CARRIER PIPE AND CASING PIPE AND IS TO FILL ANNULAR SPACE WITH APPROVED MATERIAL. PIPE WITHIN CASING TO BE RESTRAINED JOINT.	-
13	TYPE 2 CB W/ OPEN GRATE LID & OIL/WATER SEPARATOR RIM 30.00 6" IE (W) 27.00 6" IE (NE) 26.00 (FTG) 6" IE (N) 24.50 6" IE (S) 24.50	E/C06 R/C07
14	43 LF 6" SD @ 2.00% MIN	-
15	CONNECT TO EX PVC OUTFALL ON HIGH SIDE OF BULKHEAD/ROCKERY. RESTORE DISTURBED SURFACES IN KIND. CIVIL ENGINEER TO VERIFY CONDITION OF THE EXISTING OUTFALL PIPE AND VIABILITY FOR REUSE 6" TO 8" ADAPTER 8" PVC IE 19.73	-
16	DRAINAGE LATERALS FROM ADJACENT SITES MAY CONNECT TO EX LAKE OUTFALL. CONTRACTOR TO DETERMINE IN FIELD AND CONNECT EX TO PROPOSED PIPE (IF PIPES DISCOVERED)	-
17	MID LEVEL PERIMETER FOOTING DRAIN* 4" IE 37.00±	-
18	75 LF 6" SD @ 2.00% MIN	-
19	6" SDCO RIM 31.00 6" IE 28.50	H/C06
20	30 LF 6" SD @ 2.00% MIN	-
21	6" SDCO RIM 41.00 6" IE 38.50	H/C06
22	DS PIPE TO PENETRATE DECK. TIGHTLINE TO DRAINAGE INFRASTRUCTURE	-
23	CATCHMENT WALL. INSTALL FOOTING DRAIN AT BASE OF WALL. SEE GEOTECHNICAL REPORT FOR FURTHER INFORMATION* 4" IE 47.15±	-
24	ROOF DS AND TIGHTLINE @ 2.00% MIN (TYP)	-
25	6" TRENCH DRAIN W/ 6" OUTLET. OUTLET PIPE TO RUN DOWN WALL FACE AND DRAIN TO KN 21 SDCO RIM 48.50 6" IE 47.00	-
26	LOWER LEVEL PERIMETER FOOTING DRAIN* 4" IE 26.50±	-
27	TEMPORARY SHORING WALL. SEE STRUCTURAL & ARCHITECTURAL PLANS FOR FURTHER INFORMATION	-
28	EX INFRASTRUCTURE (FROM NEIGHBORING PROPERTIES) MAY BE LOCATED WITHIN EASEMENT. LOCATE IN FIELD, AND PROTECT EX UTILITIES. CONTACT CIVIL ENGINEER IF NEEDED	-
29	PIPE TO PENETRATE WALL AND CONNECT TO KN 5 PIPE. INSTALL CASING PIPE (CONSULT CIVIL ENGINEER IF NEEDED). VERTICAL BENDS AS NECESSARY	-
30	DRAIN DS TO TRENCH DRAIN	-
31	STORM AND SEWER MAIN CROSSING. CONTRACTOR TO LOCATE SEWER DEPTH PRIOR TO CONSTRUCTION AND CONSULT CIVIL ENGINEER IF CONFLICTS ARISE 6" STORM IE 22.96 8" SEWER MAIN IE (ASSUMED) 16.00±	-
32	6" SDCO RIM 55.00 6" IE 52.50	H/C06
33	GARAGE LEVEL FOOTING DRAIN* 4" IE 47.00±	-

34 CONNECT FOOTING DRAINS FROM GARAGE LEVEL/MID LEVEL TO LOWER LEVEL CATCHMENT WALL FOOTING DRAIN ELEVATION. INSTALL VERTICAL BENDS AS NECESSARY

\*PERIMETER FOOTING DRAIN INSTALL NOTES:  
INSTALL 4" PERFORATED PVC PIPE IN 6" MIN WASHED ROCK (1" MINUS), WRAPPED IN NON-WOVEN GEOTEXTILE FILTER FABRIC AROUND BUILDING FOUNDATION. PROVIDE CLEANOUTS AT CORNERS

**W MERCER BLVD.**  
N 40°56'27" W 948.93' (HELD R1 DISTANCE)



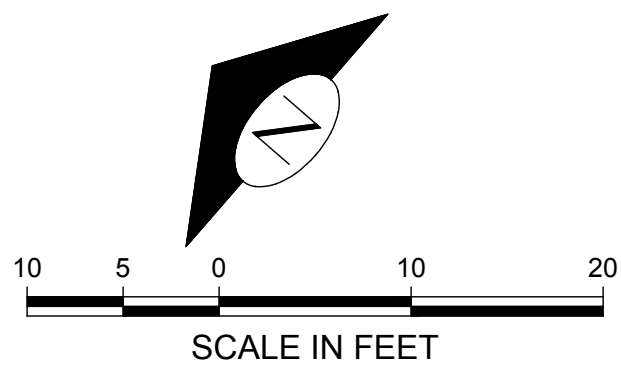
**DRAINAGE PLAN**

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCOLLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND, WA\BP PLANS.DWG  
 LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)  
 AUTOCAD VERSION: CIVIL 3D 2017

<p>9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206 525 0024 F: 206 525 1012 www.dcgengr.com</p>	<p>REVISION CYCLE 1 CITY REVIEW COMMENTS</p>
<p>DATE: 8/1/2022 BY: JIL</p>	<p>NO. 1</p>
<p><b>DCGG</b> civil structural</p>	
<p>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG UNDERGROUND UTILITY LOCATIONS ARE APPROX.</p>	
<p>BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCGG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, &amp; ALL OTHER EX FEATURES &amp; CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON PLAN, CONTACT DCGG PRIOR TO CONSTRUCTION.</p>	
<p>OWNER: MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040 PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 DRAINAGE PLAN</p>	
<p>PROJ. MANAGER: BI DESIGNED BY: JIL DRAWN BY: GS CHECKED BY: BI</p>	
<p>SCALE: AS SHOWN DATE: 8/1/2022 REV: 1 SHEET 1 OF 7</p>	
<p>SHEET NUMBER <b>C02</b></p>	

LEED ACCREDITED PROFESSIONALS & THE RELATED ARCHITECTS & ENGINEERS ARE TRADE MARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.



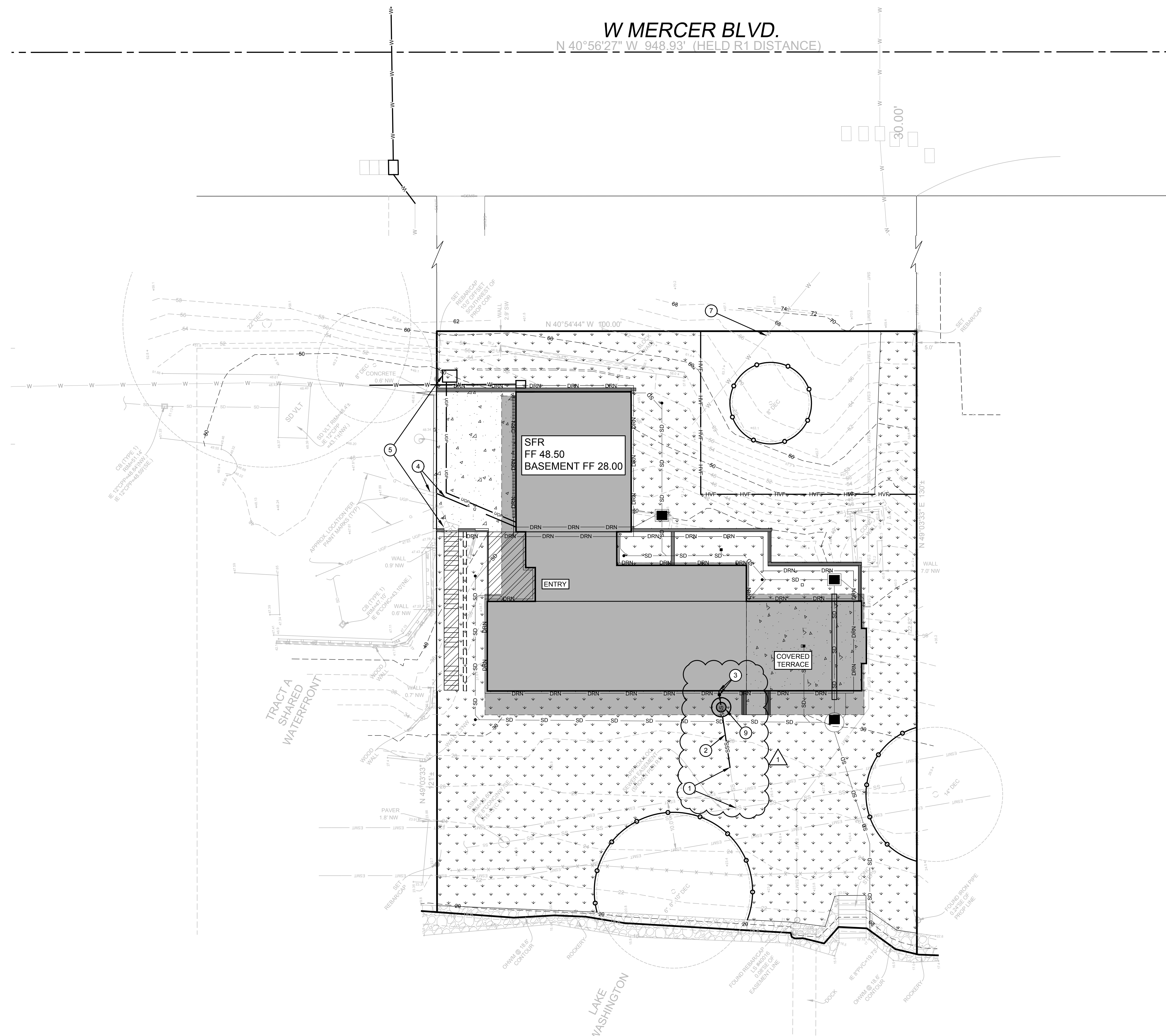


- LEGEND:**
- CONCRETE
  - LANDSCAPE
  - DECK
  - HIGH VISIBILITY FENCING
  - TREE PROTECTION FENCING

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	LOCATION OF EX SSS CONNECTION TO SEWER MAIN IS SHOWN APPROXIMATELY PER CITY GIS INFORMATION. PROJECT IS TO REUSE EXISTING STUB IF IN ADEQUATE CONDITION. SEE GENERAL NOTE 1 THIS SHEET. 6" IE 17.00± (SEWER STUB) 8" IE 15.73± (SEWER MAIN)	J/C07
2	12 LF 4" SSS @ 2.00% MIN	-
3	4" SSSCO & BUILDING POINT OF COMPLIANCE RIM 27.50 4" IE 24.50	M/C07
4	APPROXIMATE LOCATION OF EX GAS SERVICE. CONTRACTOR TO LOCATE IN FIELD. COORDINATE WITH PSE IF SERVICE ALLOWED FOR REUSE (BY OTHERS). SERVICE MAY NEED TO BE REPLACED AS REQUIRED BY THE ON-SITE INSPECTOR. IF REPLACEMENT REQUIRED, CONSULT CIVIL ENGINEER	-
5	POWER TRANSFORMER VAULT TO BE RELOCATED. COORDINATE WITH UTILITY OWNER (BY OTHERS). ELECTRICAL SERVICE SHOWN SCHEMATICALLY ONLY. FRANCHISE UTILITIES ARE NOT REVIEWED OR APPROVED BY THE CITY OF MERCER ISLAND	-
6	NOT USED	-
7	APPROXIMATE LOCATION OF EX WATER SERVICE. EX WATER METER TO BE REMOVED ALONG W MERCER WAY. EXISTING SERVICE TO BE ABANDONED AT MAIN AND PIPE TO BE ABANDONED IN PLACE. SEE SHEET C04 FOR ADDITIONAL INFORMATION	-
8	NOT USED	-
9	BACKFLOW PREVENTION VALVE 4" IE 24.30	L&M/C07

**GENERAL NOTES:**

- CCTV INSPECTION OF THE EXISTING SIDE SEWER TO THE SEWER MAIN IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE CCTV SHOWS THE SIDE SEWER TO BE IN UNSATISFACTORY CONDITION (AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR), REPLACEMENT OF EXISTING SIDE SEWER STUB TO MAIN IS REQUIRED.



UTILITY PLAN

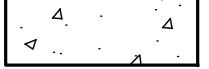



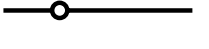
CAD FILE NUMBER: P:\CLIENTS\CIVIL\DRAWINGS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 WEST MERCER WAY\MERCER ISLAND\_BP PLANS.DWG  
 LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 WEST MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)  
 AUTOCAD VERSION: CIVIL 3D 2017

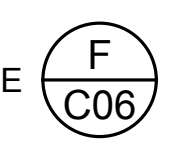
REVISION NO. DATE BY JIL CYCLE 1 CITY REVIEW COMMENTS	LEED ACCREDITED PROFESSIONALS & THE RELATED AGENCY & THE LEED CREDENTIALS ARE TRADE MARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.
9706 4th Ave NE Suite 300 Seattle, WA 98115 P: 206 525 0024 F: 206 525 1012 www.dcgengr.com	
CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small>	
BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN & OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.	
OWNER: MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040	PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 UTILITY PLAN
PROJ. MANAGER: BI DESIGNED BY: JIL DRAWN BY: GS CHECKED BY: BI	SCALE: AS SHOWN DATE: 8/1/2022 REV: 1 SHEET: 1 OF: 7
SHEET NUMBER <h1 style="margin: 0;">C03</h1>	



CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCOLLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 WEST MERCER WAY\MERCER ISLAND\_BP PLANS.DWG  
 LAST MODIFIED BY: JACK - SAVE DATE: 8/17/2022 3:32 PM - SHEET SET: 4045 WEST MERCER WAY\_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)  
 AUTOCAD VERSION: CIVIL 3D 2017

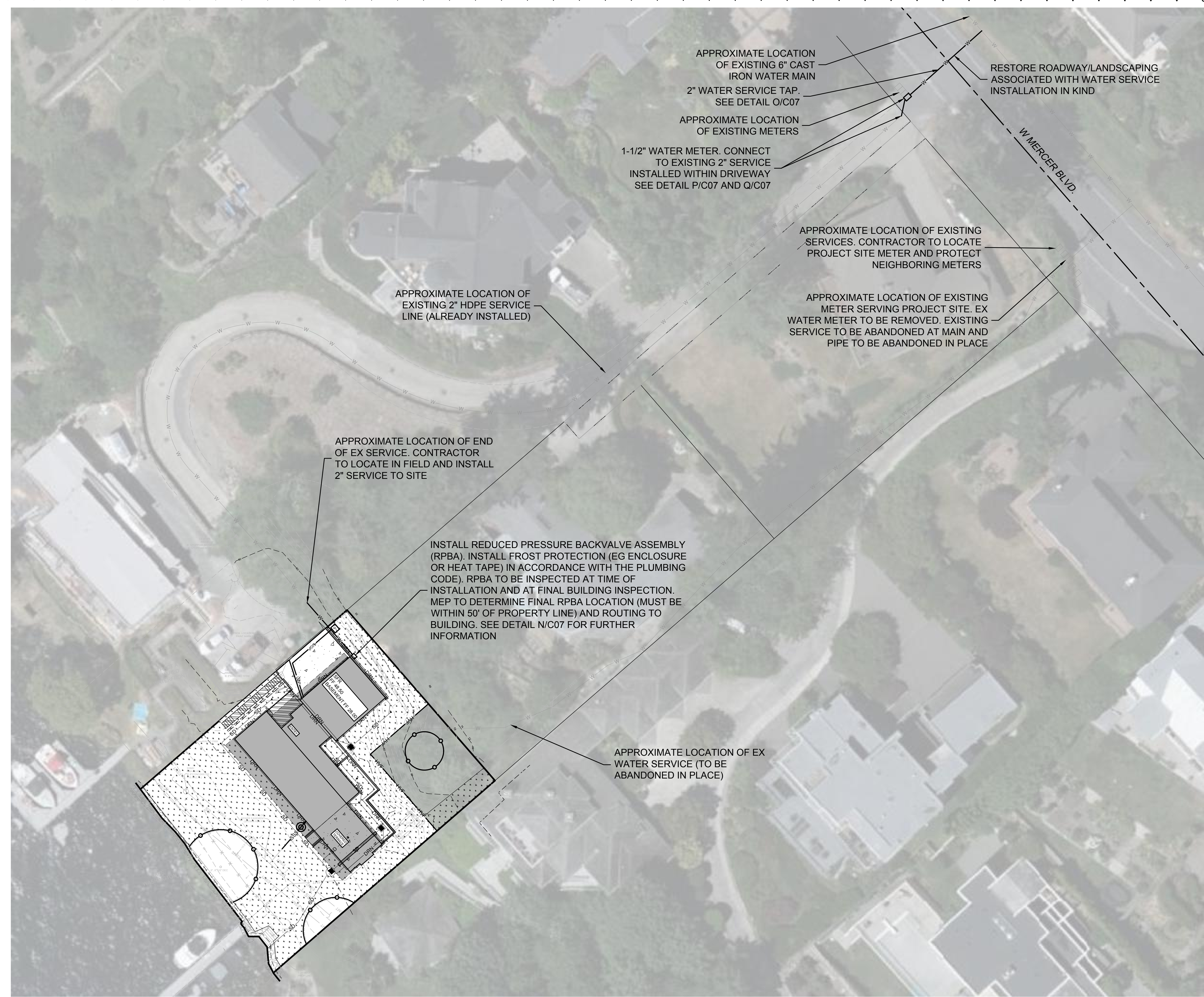
**LEGEND:**

-  CONCRETE
-  LANDSCAPE
-  DECK
-  HIGH VISIBILITY FENCING
-  TREE PROTECTION FENCING



**GENERAL NOTES:**

1. WATER SERVICES ALONG WEST MERCER WAY ARE SHOWN APPROXIMATELY AND WERE ADDED FROM GIS DATA AND SITE PHOTOS AND ARE TO ACT AS A GUIDE FOR THE CONTRACTOR. CONTRACTOR TO LOCATE AND CONFIRM UTILITY LOCATIONS IN FIELD.



**WATER UTILITY PLAN**

<b>NO.</b>	<b>DATE</b>	<b>BY</b>	<b>REVISION</b>
1	8/17/2022	JL	CYCLE 1 CITY REVIEW COMMENTS

<b>OWNER:</b> MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040	<b>PROJECT:</b> 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 WATER UTILITY PLAN
---	--


<b>PROJ. MANAGER:</b> BI	<b>DESIGNED BY:</b> JL
<b>DRAWN BY:</b> GS	<b>CHECKED BY:</b> BI
<b>SCALE:</b> AS SHOWN	<b>DATE:</b> 8/1/2022
<b>REV:</b> 1	<b>SHEET:</b> 1 OF 7

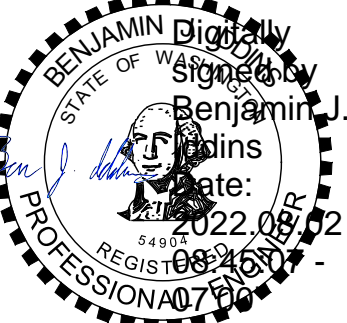
**SHEET NUMBER**

**C04**

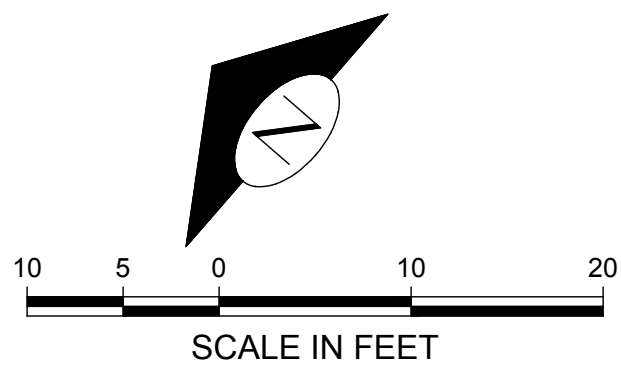


**CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG**  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)



BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, OUR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

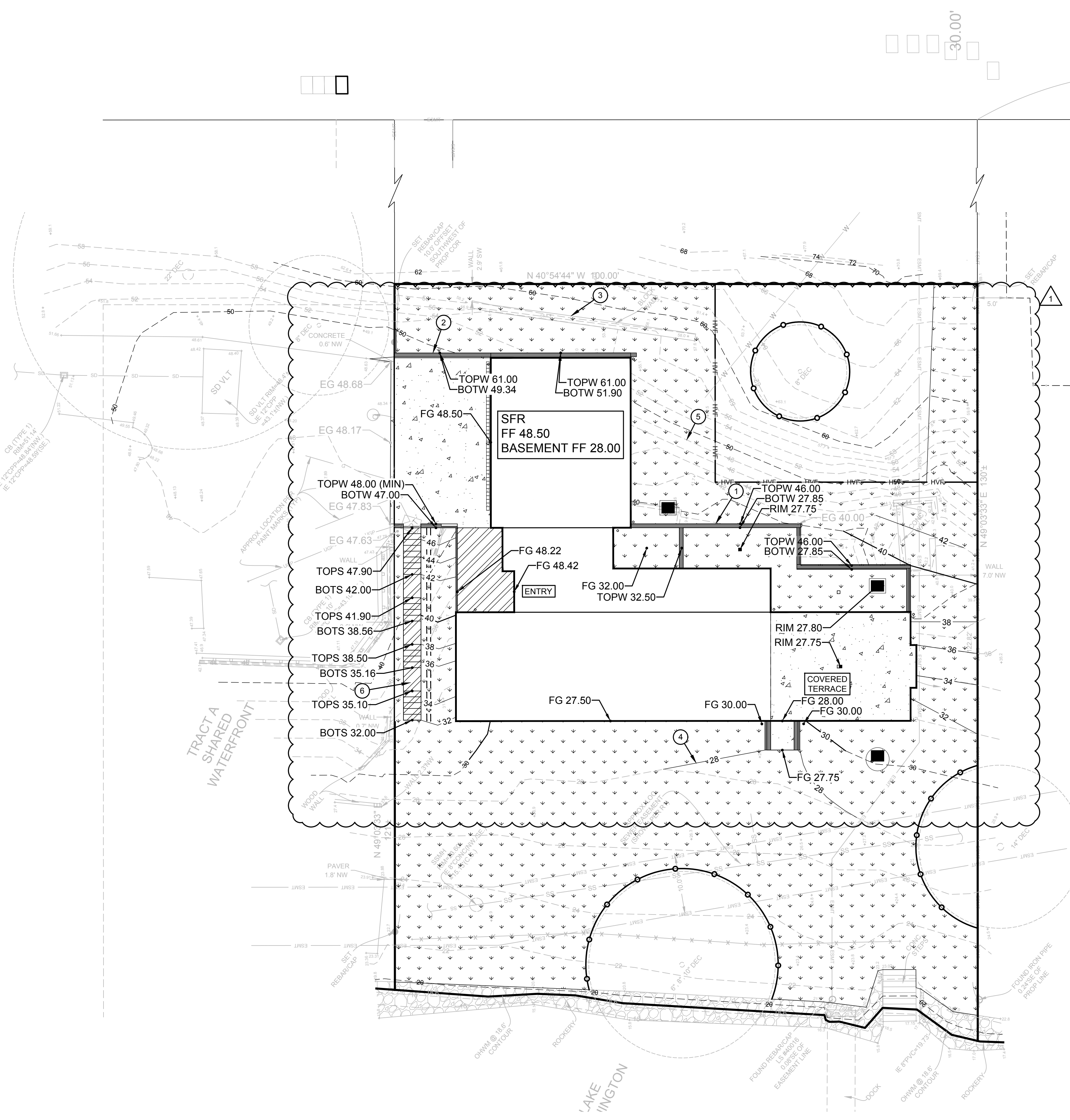




- LEGEND:**
- CONCRETE
  - LANDSCAPE
  - DECK
  - HIGH VISIBILITY FENCING
  - TREE PROTECTION FENCING

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	CATCHMENT WALL TO EXTEND 6' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
2	CATCHMENT WALL TO EXTEND 7' MIN ABOVE EG PER GEOTECHNICAL REPORT	-
3	EXISTING WALL TO REMAIN. IF DISTURBED FROM CONSTRUCTION ACTIVITY, REPLACE IN KIND (4' HEIGHT MAX)	1
4	PROPOSED CONTOUR (TYP)	-
5	EX CONTOUR (TYP)	-
6	WOODEN DECKING TO FOLLOW EG	1

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\BP PLANS\DWG  
 LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 W MERCER WAY BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D: 36.00 X 24.00 INCHES  
 AUTOCAD VERSION: CIVIL 3D 2017

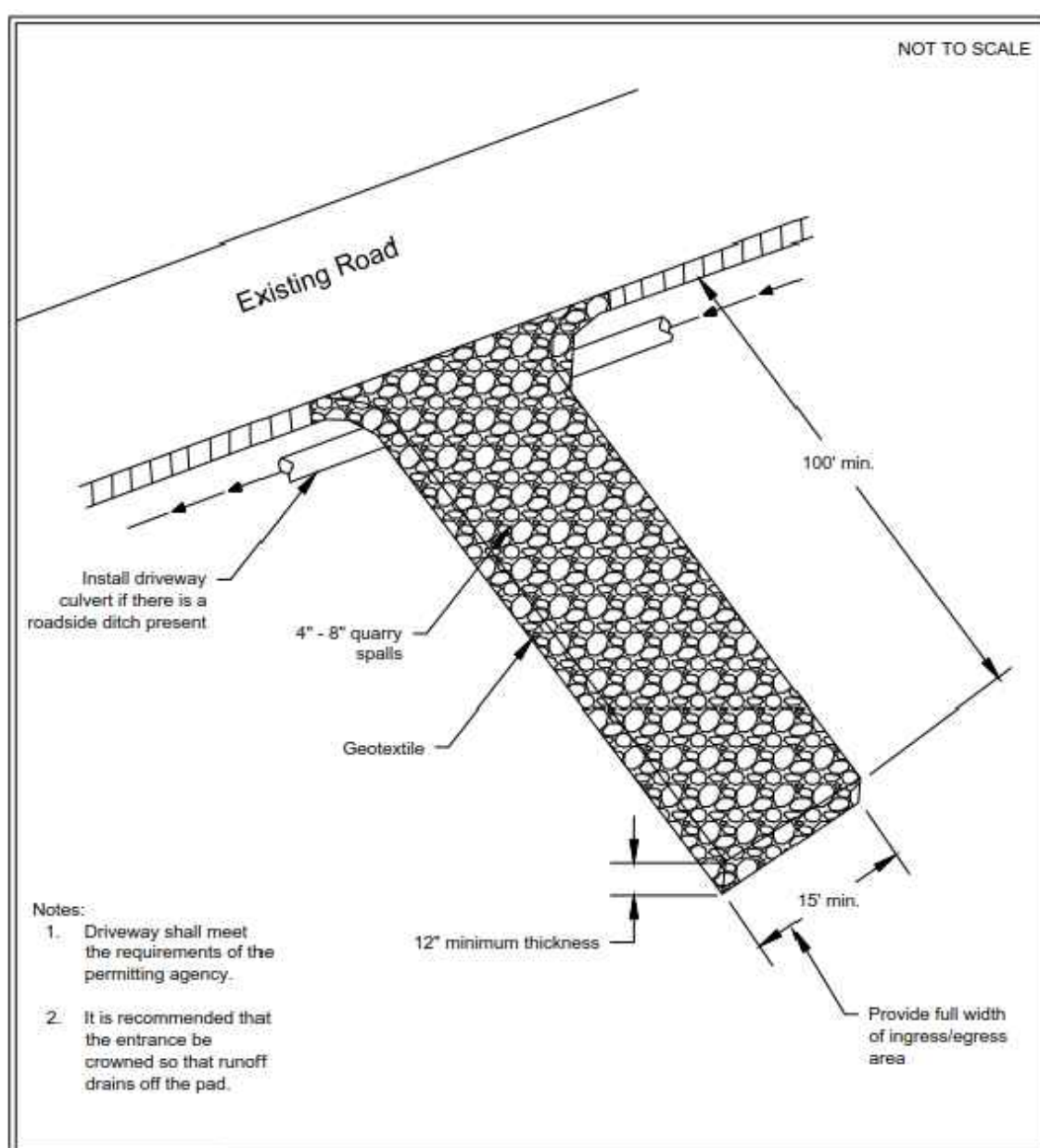


GRADING PLAN

W MERCER BLVD.  
 N 40°56'27" W 948.93' (HELD R1 DISTANCE)

REVISION BY: JIL DATE: 8/1/2022 NO: 1	CYCLE 1 CITY REVIEW COMMENTS    
LEED ACCREDITED PROFESSIONALS & THE RELATED ARCHITECTS & THE LOCAL LEED COUNCIL ARE TRADEMARKS OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.	
CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small>	
<small>BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, &amp; ALL OTHER EX FEATURES &amp; CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, OUR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.</small>	
OWNER: MIST LLC - ATTN: FERAS ALROUK 7683 SE 27TH ST., UNIT #418 MERCER ISLAND, WA 98040	PROJECT: 4045 WEST MERCER WAY MERCER ISLAND, WA 98040 GRADING PLAN
PROJ. MANAGER: BI DESIGNED BY: JIL DRAWN BY: GS CHECKED BY: BI	
SCALE: AS SHOWN DATE: 8/1/2022 REV: 1 SHEET: 1 OF 7	
SHEET NUMBER <h1 style="margin: 0;">C05</h1>	

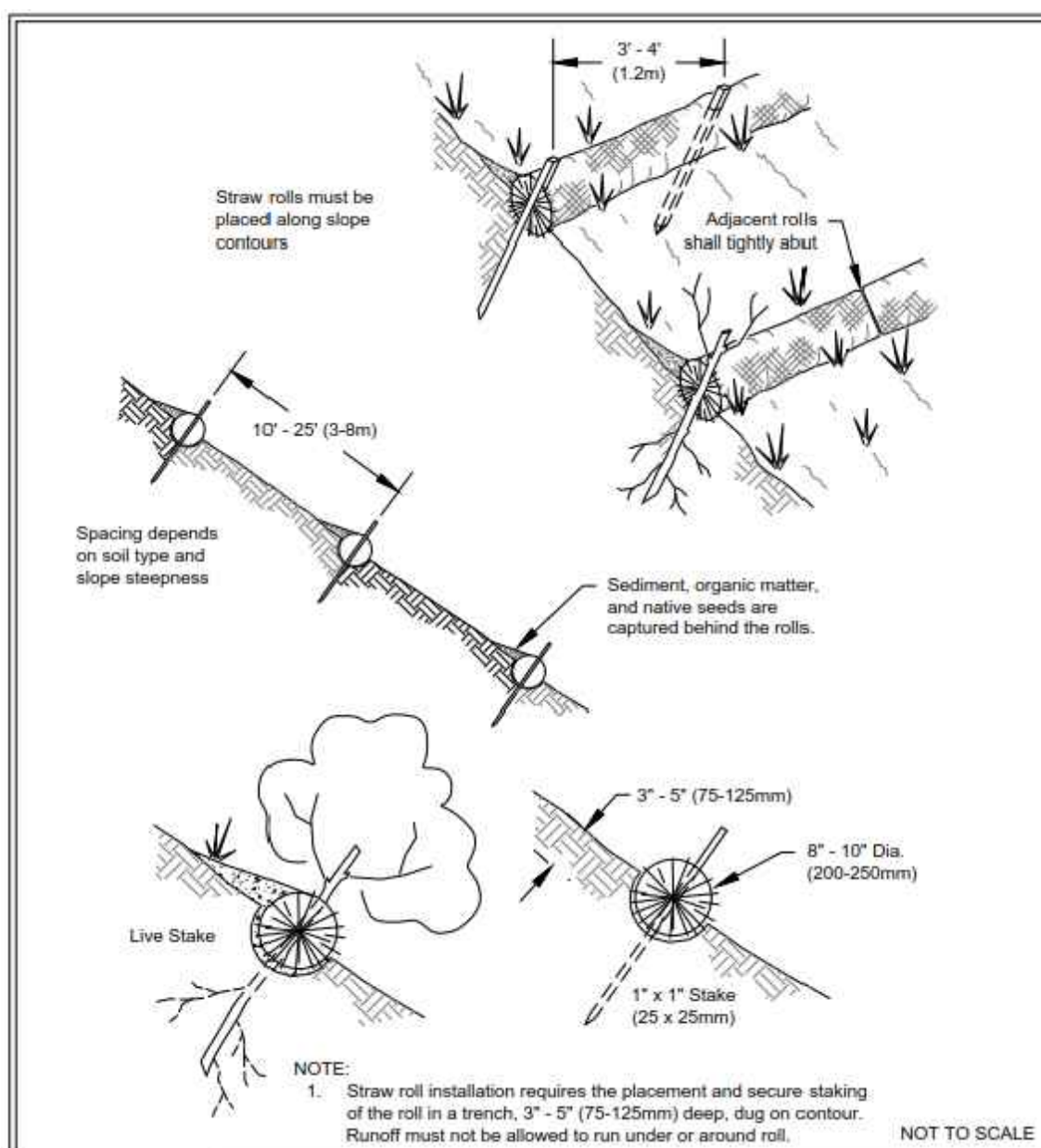




**Figure II-4.1.1**  
Stabilized Construction Entrance

DEPARTMENT OF ECOLOGY  
State of Washington  
Revised June 2015  
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

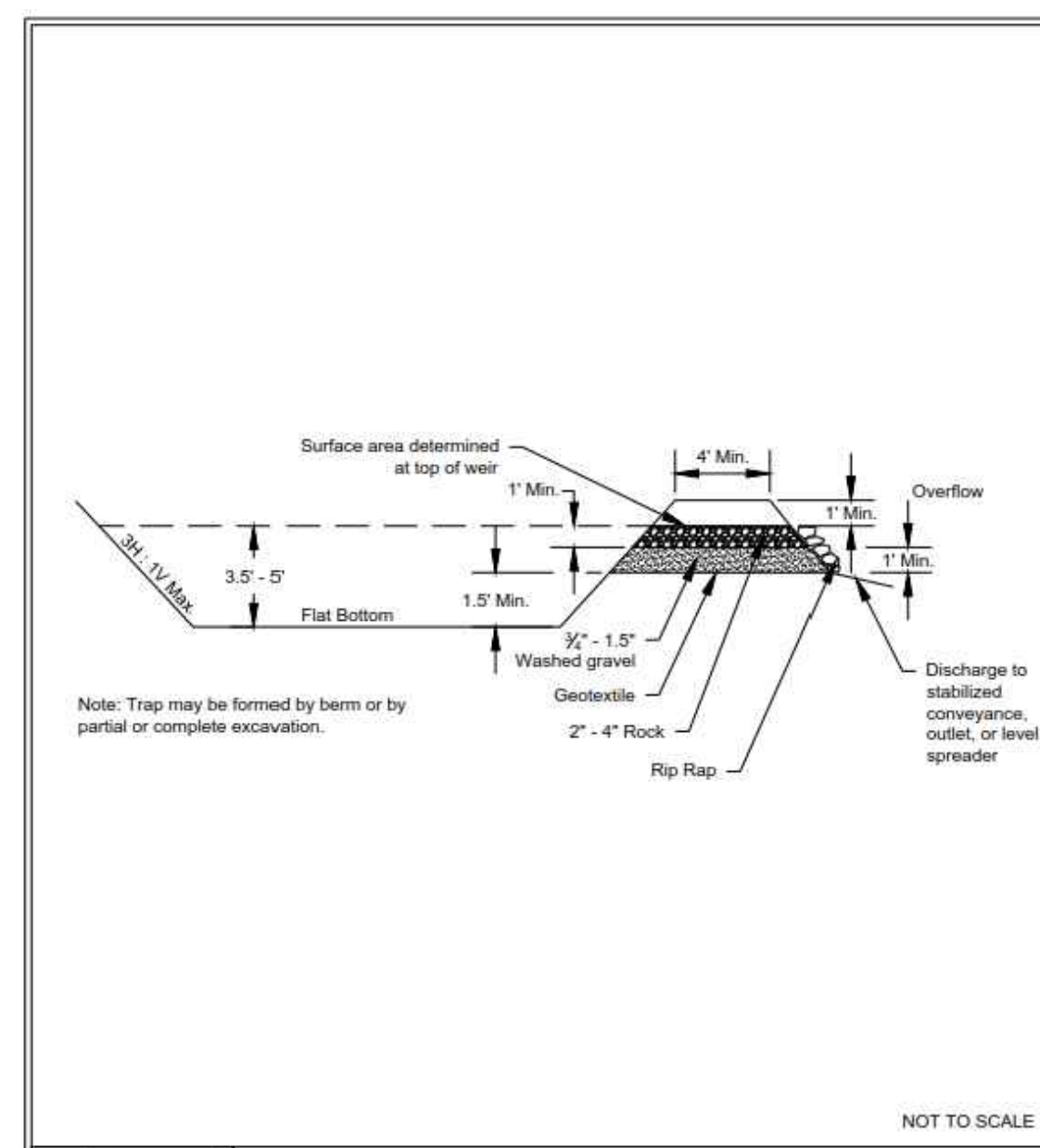
STABILIZED CONSTRUCTION ENTRANCE (A)  
NOT TO SCALE C01



**Figure II-4.2.14**  
Wattles

DEPARTMENT OF ECOLOGY  
State of Washington  
Revised November 2015  
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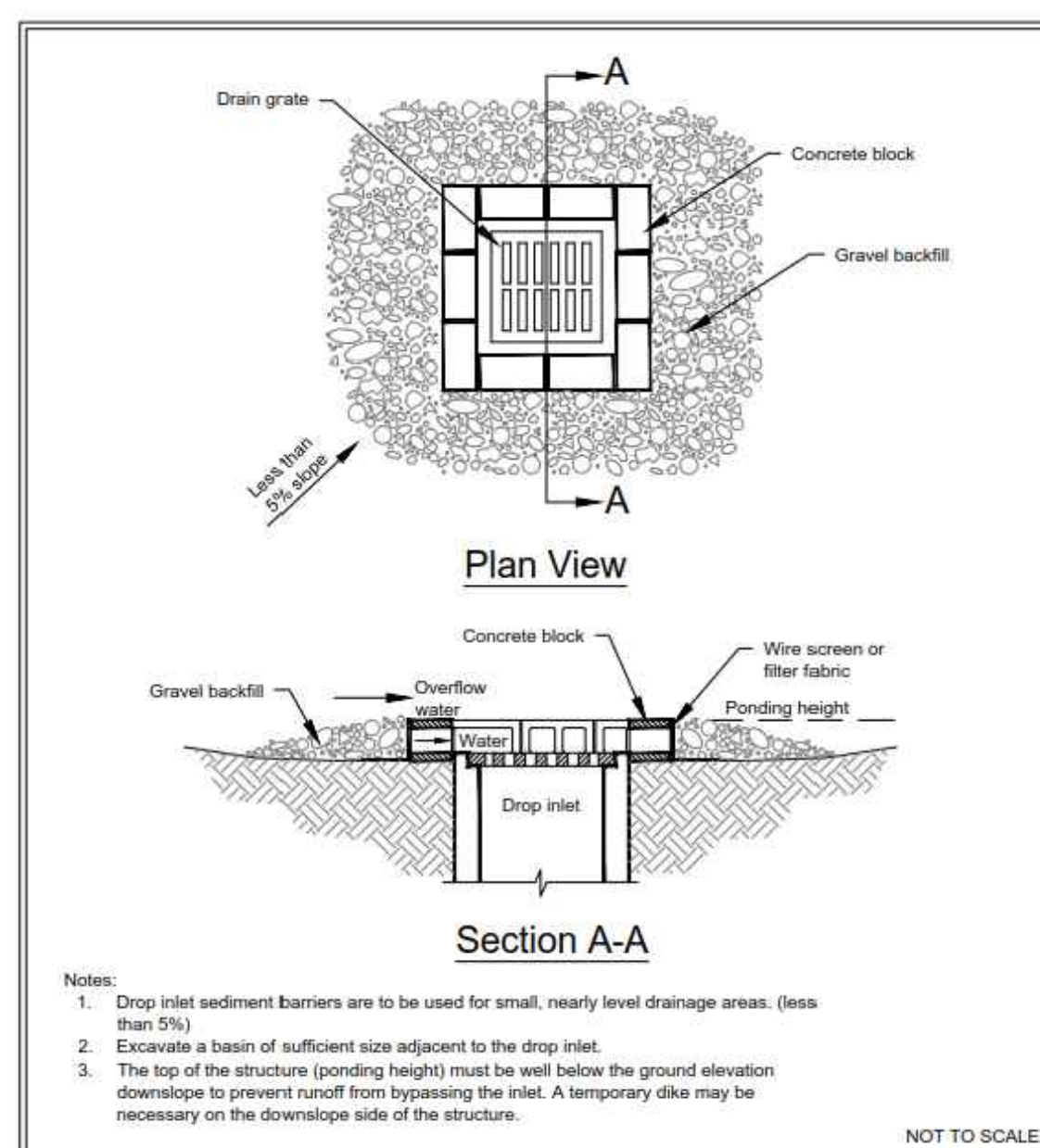
STRAW WATTLES (B)  
NOT TO SCALE C01



**Figure II-4.2.16**  
Cross Section of Sediment Trap

DEPARTMENT OF ECOLOGY  
State of Washington  
Revised November 2015  
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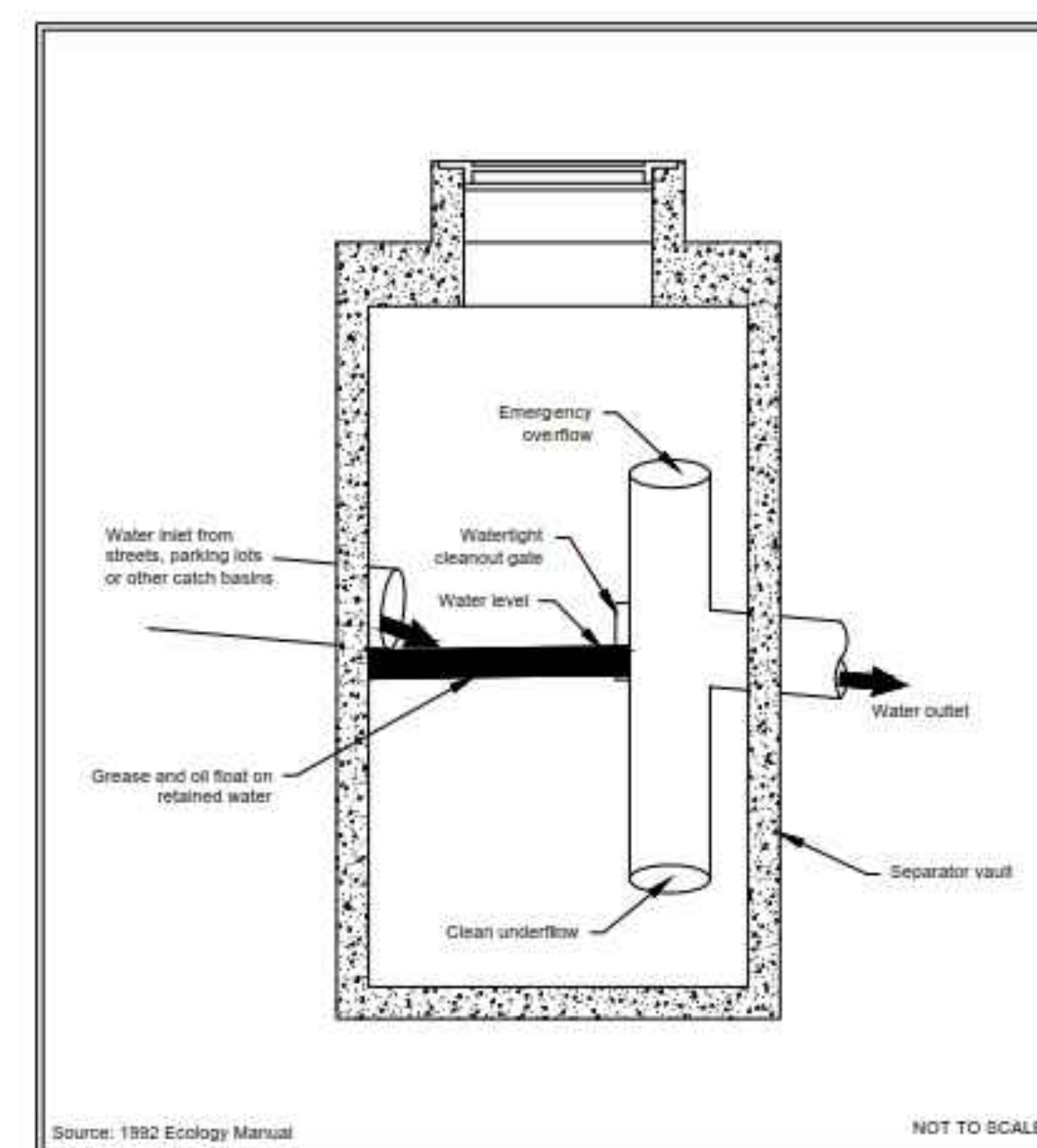
SEDIMENT TRAP (C)  
NOT TO SCALE C01



**Figure II-4.2.8**  
Block and Gravel Filter

DEPARTMENT OF ECOLOGY  
State of Washington  
Revised August 2015  
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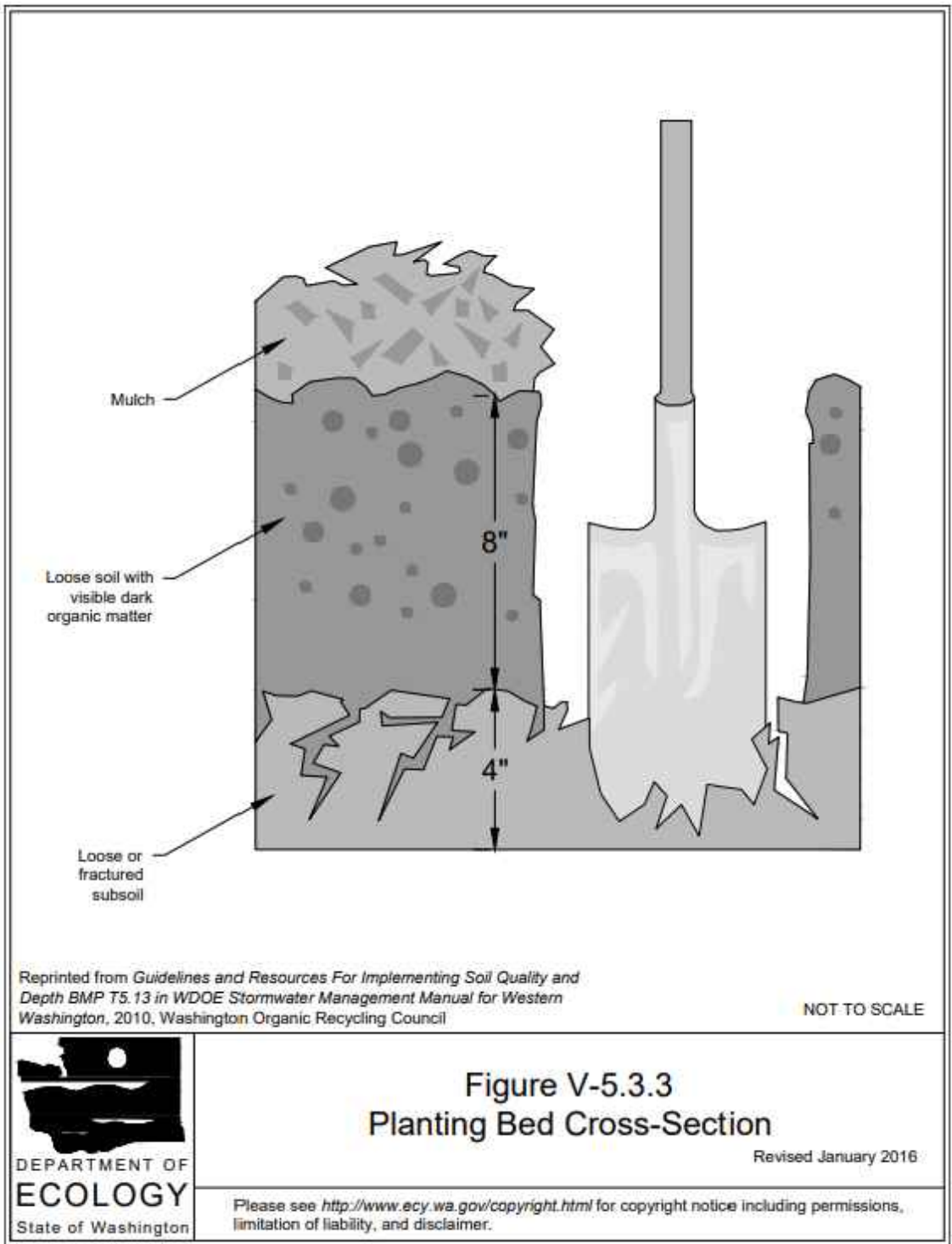
TEMPORARY INLET PROTECTION (D)  
NOT TO SCALE C01



**Figure V-11.2.3**  
Spill Control Separator (not for oil treatment)

DEPARTMENT OF ECOLOGY  
State of Washington  
Revised March 2010  
Please see <http://www.ecy.wa.gov/copyright.html> for copyright notice including permissions, limitation of liability, and disclaimer.

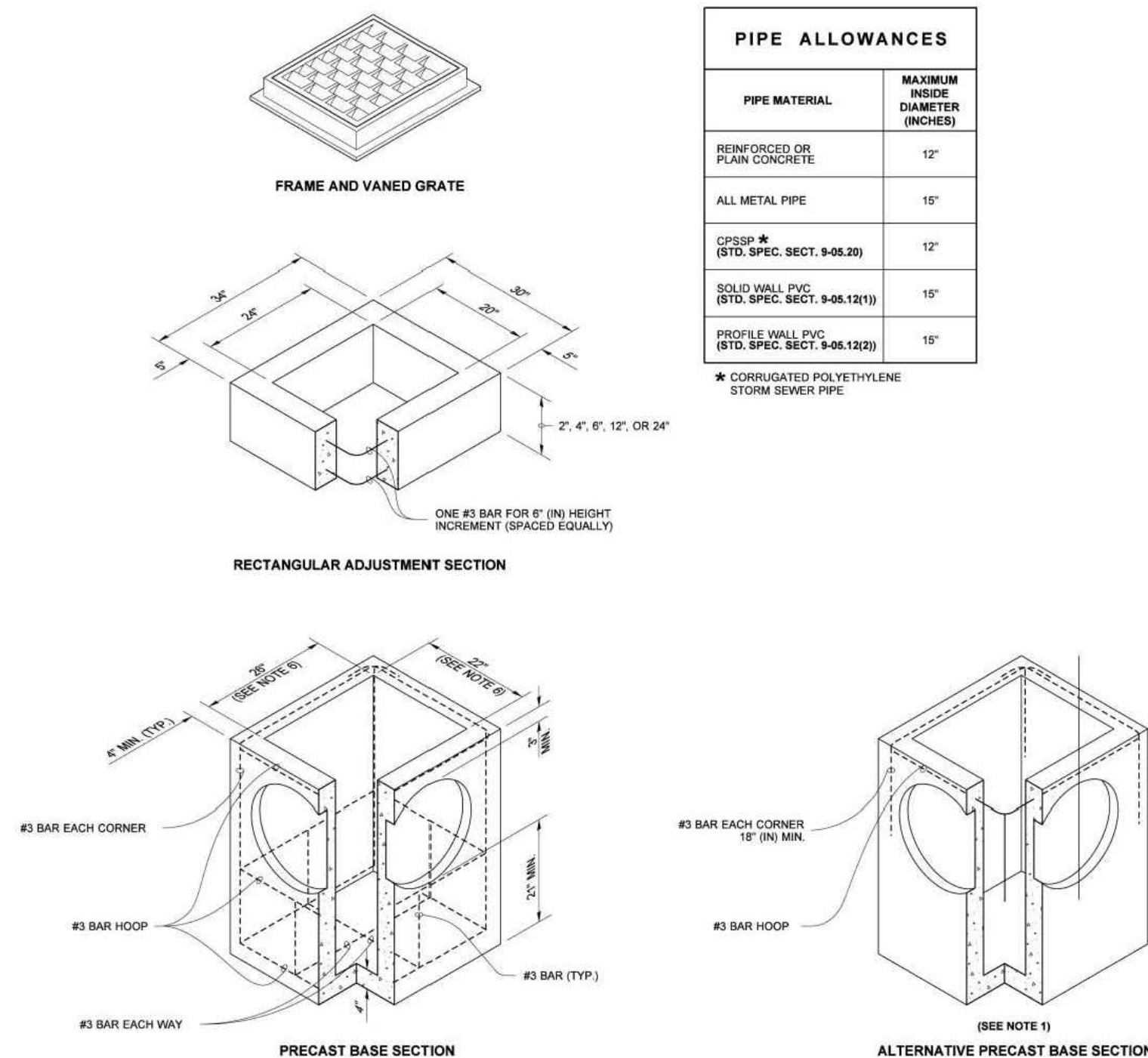
OIL/WATER SEPARATOR (E)  
NOT TO SCALE C02



**Figure V-5.3.3**  
Planting Bed Cross-Section

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State of Washington  
Revised January 2016  
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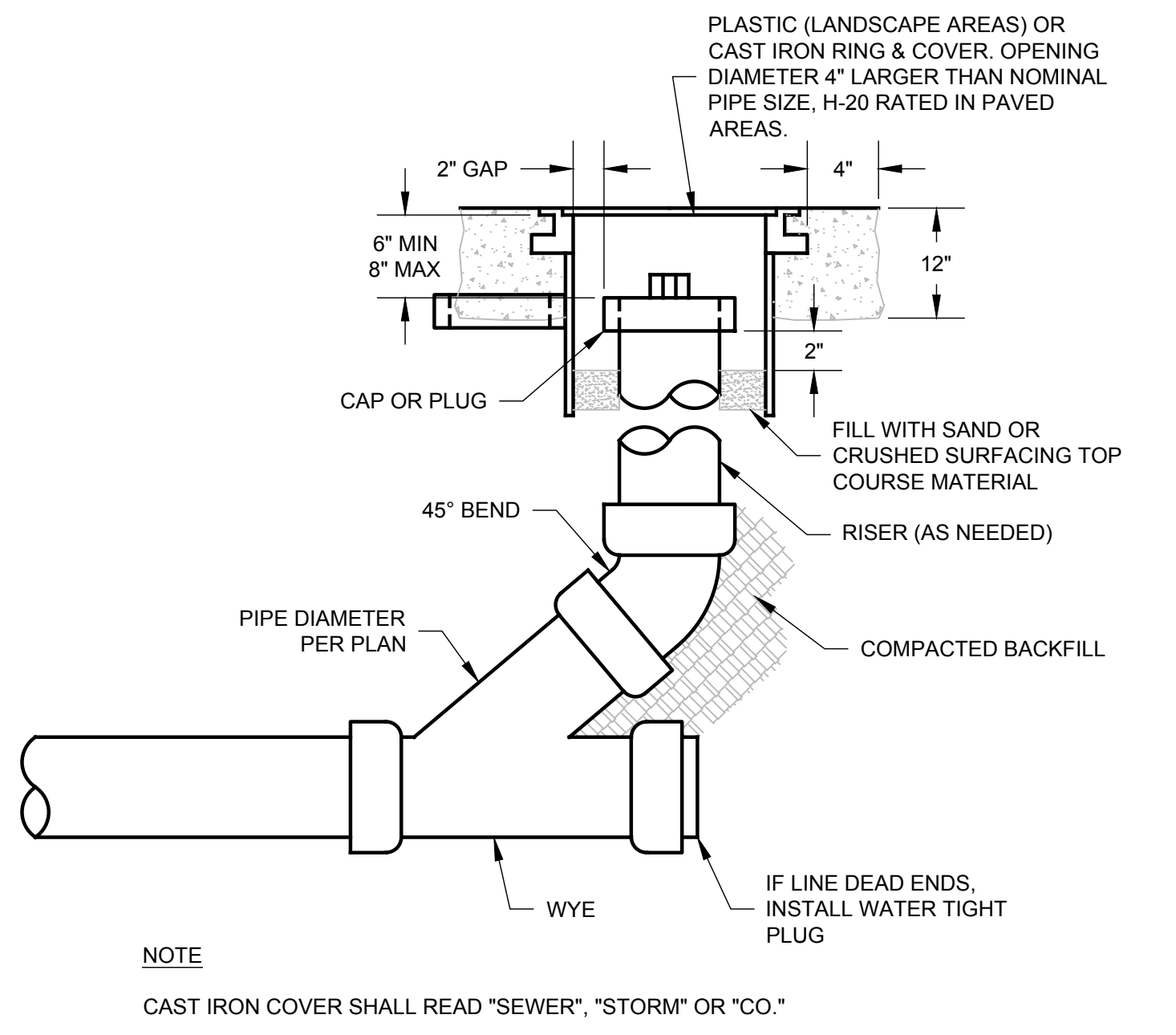
POST CONSTRUCTION SOIL QUALITY AND DEPTH (F)  
NOT TO SCALE C01, C02



**CATCH BASIN TYPE 1**  
NOT TO SCALE (G)  
C02



**CATCH BASIN TYPE 1**  
STANDARD PLAN B-5.20-03  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Roark, Steve  
8/1/2022 10:02:33 AM  
10/11/2022 10:02:33 AM



**STORM DRAIN & SEWER CLEANOUT (H)**  
NOT TO SCALE C02, C03

NO.	DATE	BY	REVISION
1	8/01/2022	JL	CYCLE CITY REVIEW COMMENTS

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206 525 0024  
F: 206 525 1012  
www.dcgengr.com

**DCG**  
civil structural

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BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, S&P PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER:	MIST LLC - ATTN: FERAS ALROUK
PROJECT:	7683 SE 27TH ST, UNIT #418 MERCER ISLAND, WA 98040 4045 WEST MERCER WAY MERCER ISLAND, WA 98040
PROJ. MANAGER:	BI
DESIGNED BY:	JL
DRAWN BY:	GS
CHECKED BY:	BI
SCALE:	AS SHOWN
DATE:	8/1/2022
REV:	1
SHEET:	6
OF:	7
SHEET NUMBER:	<b>C06</b>

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCLELLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\DRAWING\4045 WEST MERCER WAY\MERCER ISLAND\_BP PLANS.DWG  
LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 WEST MERCER WAY\_BP PLANS - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017



**DISCONNECTION**  
WHEN DEMOLISHING AN EXISTING BUILDING, THE BUILDING SIDE SEWER SHALL BE DISCONNECTED PRIOR TO REMOVAL OF BUILDING FOUNDATIONS. THE CONTRACTOR SHALL INSTALL A MECHANICAL PLUG WITH NON-SHRINK GROUT AT THE END OF THE SIDE SEWER TO REMAIN IN PLACE. DISCONNECTION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY'S UTILITY INSPECTOR. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING DEPICTING THE DISCONNECTED SIDE SEWER UPON COMPLETION OF THE WORK.

**RECONNECTION**  
WHEN RECONNECTING TO AN EXISTING SIDE SEWER, THE POINT OF RECONNECTION WILL BE DETERMINED BASED ON THE MAGNITUDE OF THE CONSTRUCTION ON THE PROPERTY.

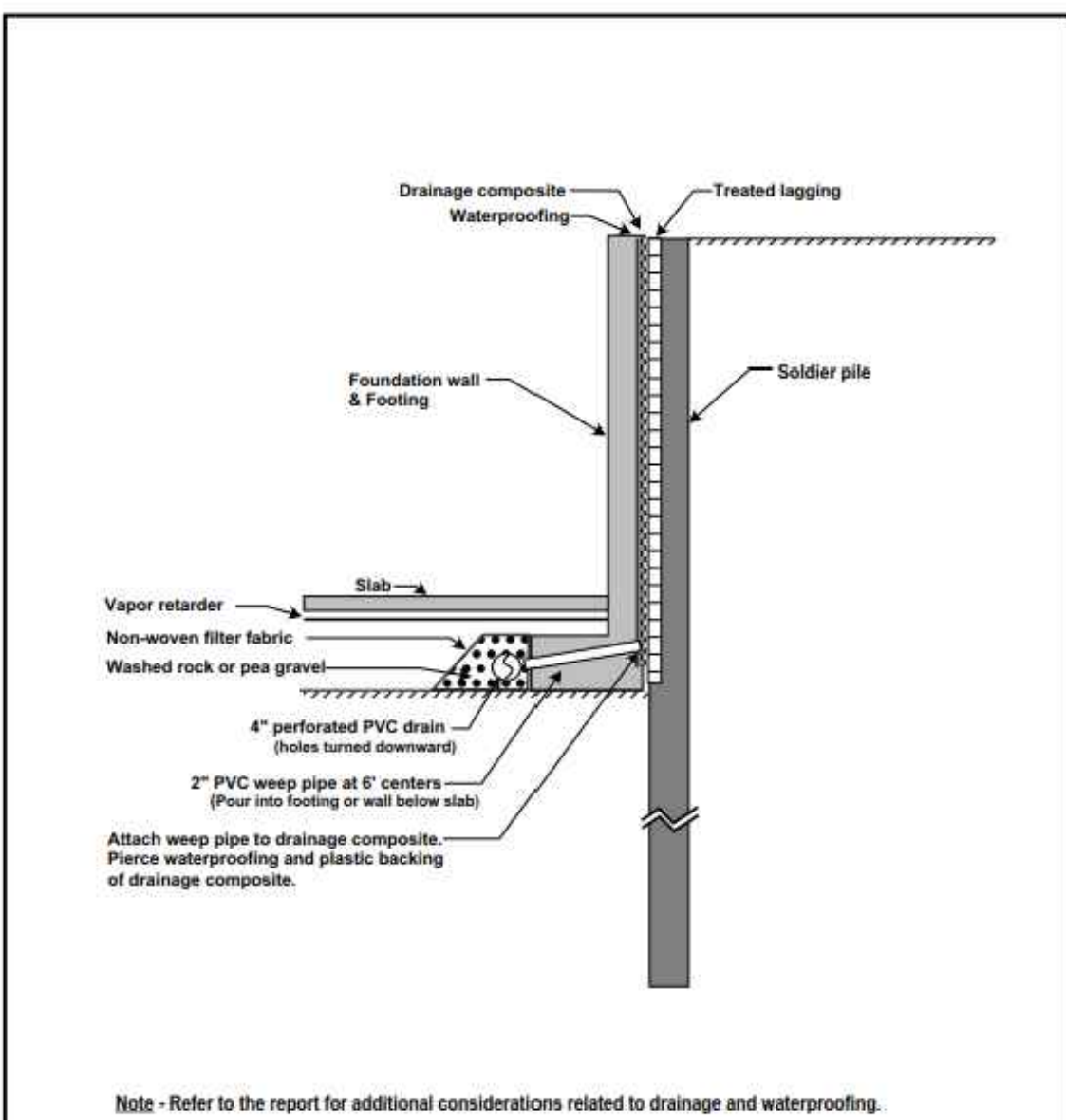
- PARTIAL INTERIOR REMODEL AND/OR BUILDING ADDITION - NO SIDE SEWER REPLACEMENT REQUIRED UNLESS A KNOWN PROBLEM EXISTS IN THE SIDE SEWER.
- COMPLETE INTERIOR REMODEL OF RESIDENCE - ASSESS CONDITION OF EXISTING SIDE SEWER THROUGH VIDEO INSPECTION FROM BUILDING TO PROPERTY LINE AND REPLACE AS NEEDED. IF EXISTING SIDE SEWER IS ASBESTOS CEMENT OR CONCRETE, SIDE SEWER SHALL BE REPLACED FROM BUILDING TO PROPERTY LINE, UNLESS THE APPLICANT PROVES, TO THE SATISFACTION OF THE CITY ENGINEER, THAT THE SIDE SEWER IS WATER TIGHT AND IN SOUND CONDITION.
- COMPLETE INTERIOR REMODEL AND BUILDING ADDITION - NEW SIDE SEWER FROM BUILDING TO PROPERTY LINE.
- CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE - NEW SIDE SEWER FROM BUILDING TO PROPERTY LINE.
- BACK WATER VALVE INSTALLATION PER CITY ENGINEER, IF SCENARIO 2, 3 OR 4 IS DIRECTLY ATTACHED TO THE LAKE LINE.

VIDEO INSPECTION OF THE EXISTING SIDE SEWER BETWEEN THE PROPERTY LINE AND THE SEWER MAIN SHALL BE PERFORMED FOR SCENARIOS NUMBER 3 AND 4.  
PROVIDE A COPY OF THE VIDEO DOCUMENTATION TO THE CITY ENGINEER.

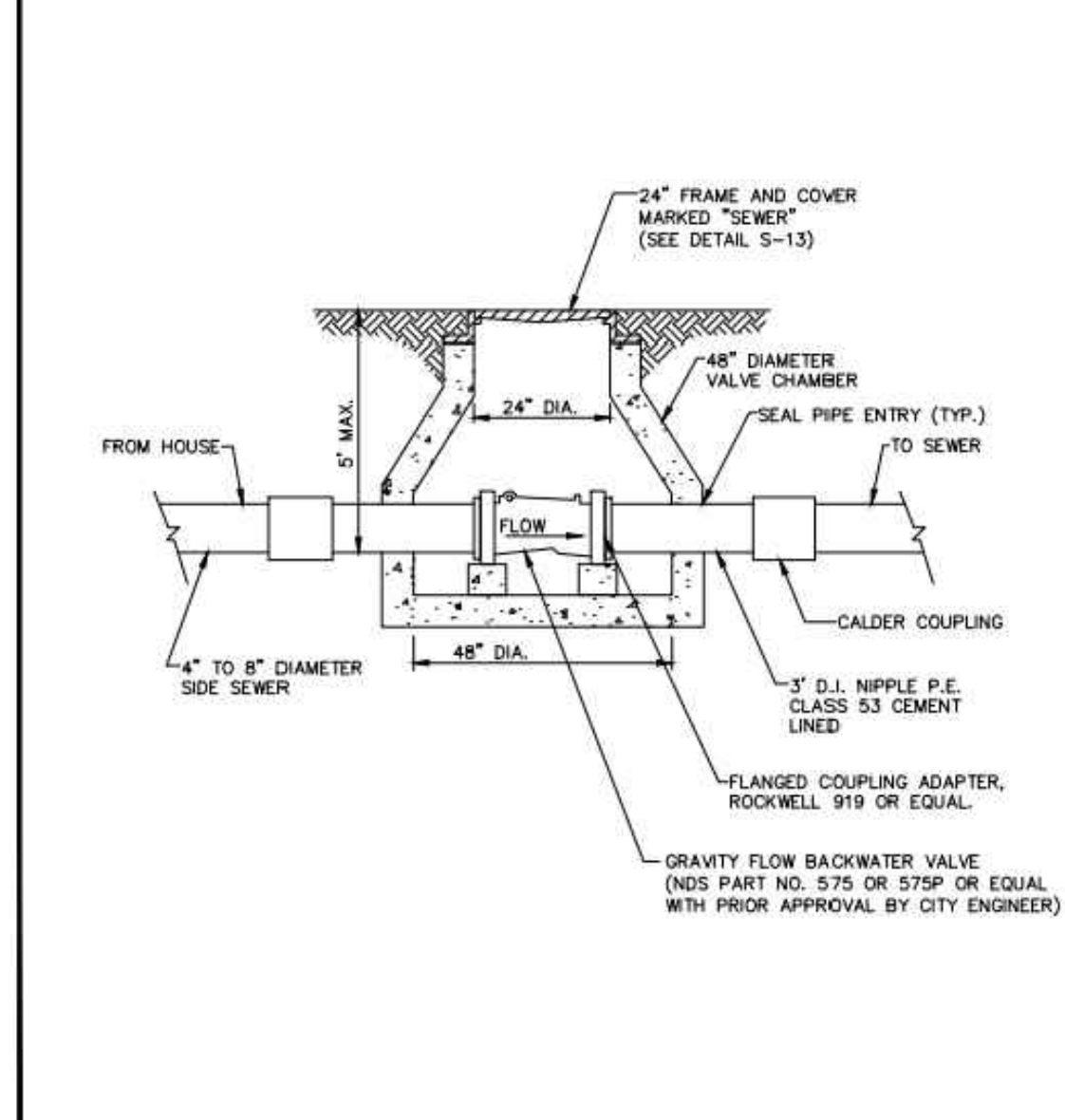
REPLACEMENT OR REPAIR OF THAT PORTION OF THE SIDE SEWER BETWEEN THE PROPERTY LINE AND THE SEWER MAIN, WILL BE DETERMINED BY THE CITY ENGINEER, BASED ON THE VIDEO INSPECTION.

IF THE EXISTING SIDE SEWER IS PVC AND IS LESS THAN TEN YEARS OLD, THE SIDE SEWER DOES NOT HAVE TO BE REPLACED IF A VIDEO INSPECTION AND HYDROSTATIC PRESSURE TEST CONFIRMS THAT THE SIDE SEWER IS IN PROPER WORKING CONDITION. THESE TESTS SHALL BE PERFORMED AFTER ALL HEAVY EQUIPMENT THAT COULD DAMAGE THE SIDE SEWER IS OFF OF THE SITE.

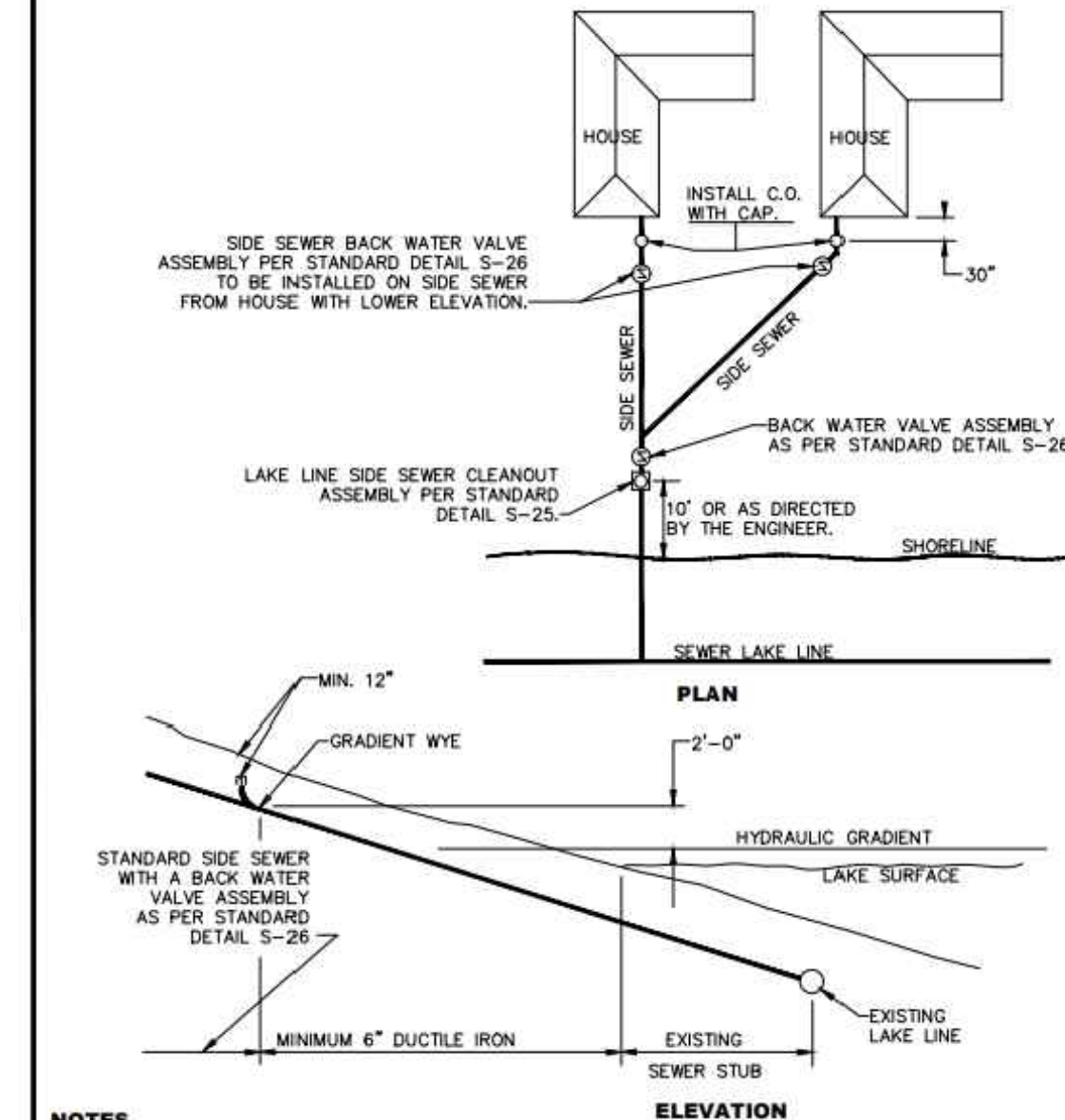
**CITY OF MERCER ISLAND  
STANDARD DETAILS  
SEWER  
RESIDENTIAL SIDE SEWER  
DISCONNECTION & RECONNECTION  
6-5-2009 NO SCALE APPROVED**



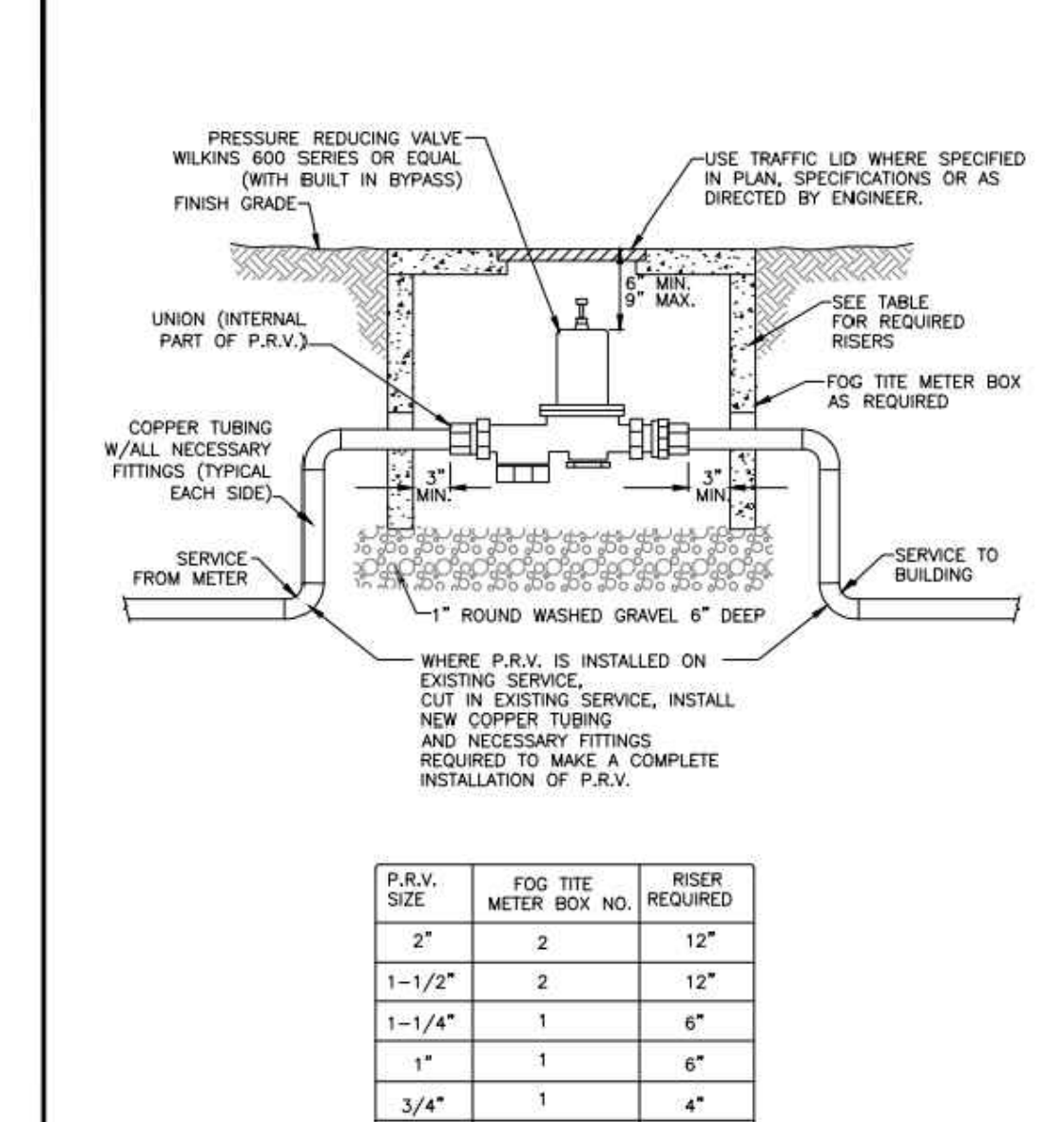
**GEOTECH CONSULTANTS, INC.**  
**SHORING DRAIN DETAIL**  
4045 West Mercer Way  
Mercer Island, Washington  
JOB NO: 21026 Date: May 2021 Plate: 6



**CITY OF MERCER ISLAND  
STANDARD DETAILS  
SEWER  
BACK WATER VALVE ASSEMBLY  
FOR JOINT USE SIDE SEWER  
(4\"/>**



**CITY OF MERCER ISLAND  
STANDARD DETAILS  
SEWER  
LAKE LINE CLEANOUT &  
BACK WATER VALVE ASSEMBLY  
INSTALLATION ABOVE  
HYDRAULIC GRADIENT  
6-5-2009 NO SCALE APPROVED**



**CITY OF MERCER ISLAND  
STANDARD DETAILS  
WATER  
RESIDENTIAL  
PRESSURE REDUCING VALVE  
12-24-2013 NO SCALE APPROVED**

P.R.V. SIZE	FOG TITE METER BOX NO.	RISER REQUIRED
2"	2	12"
1-1/2"	2	12"
1-1/4"	1	6"
3/4"	1	4"
1/2"	1	4"

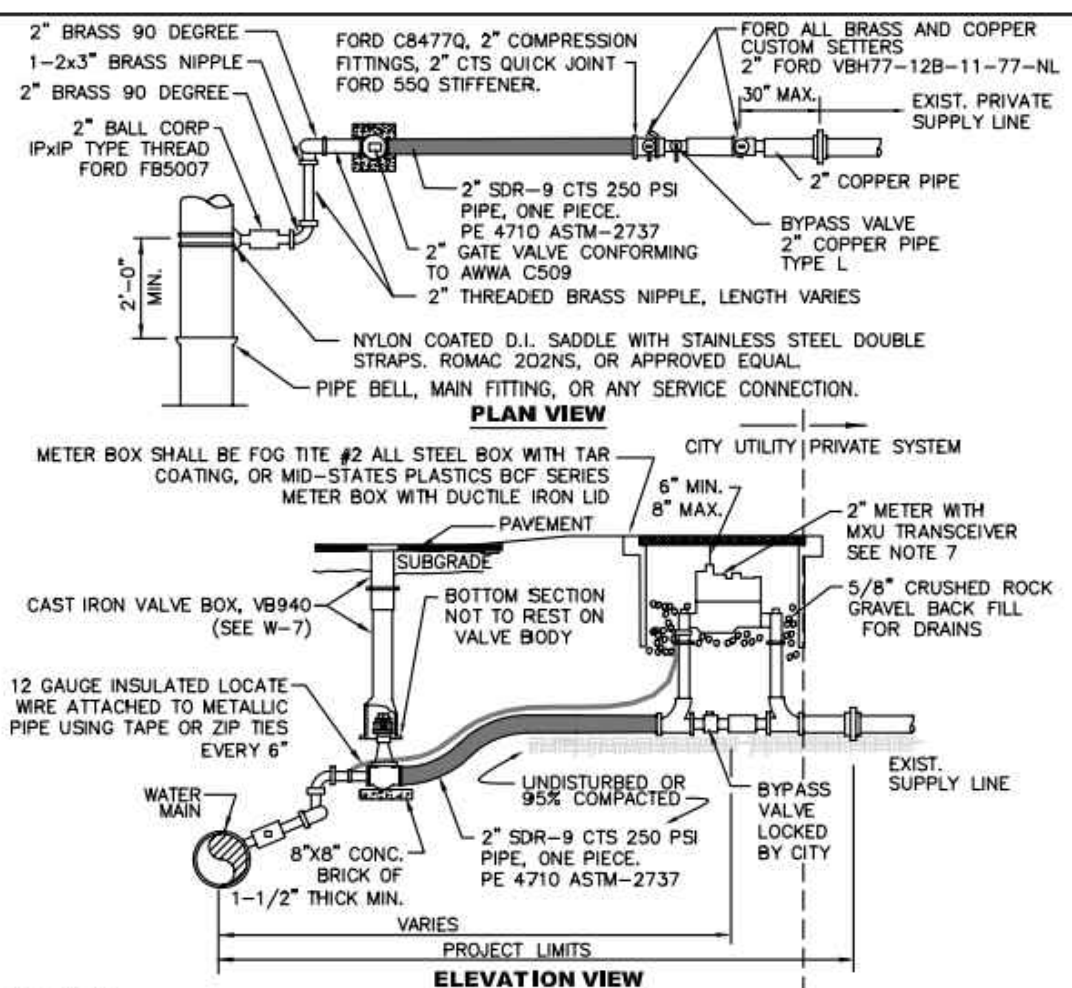
**RESIDENTIAL SIDE SEWER NOTES**  
NOT TO SCALE

**SHORING DRAIN DETAIL**  
NOT TO SCALE

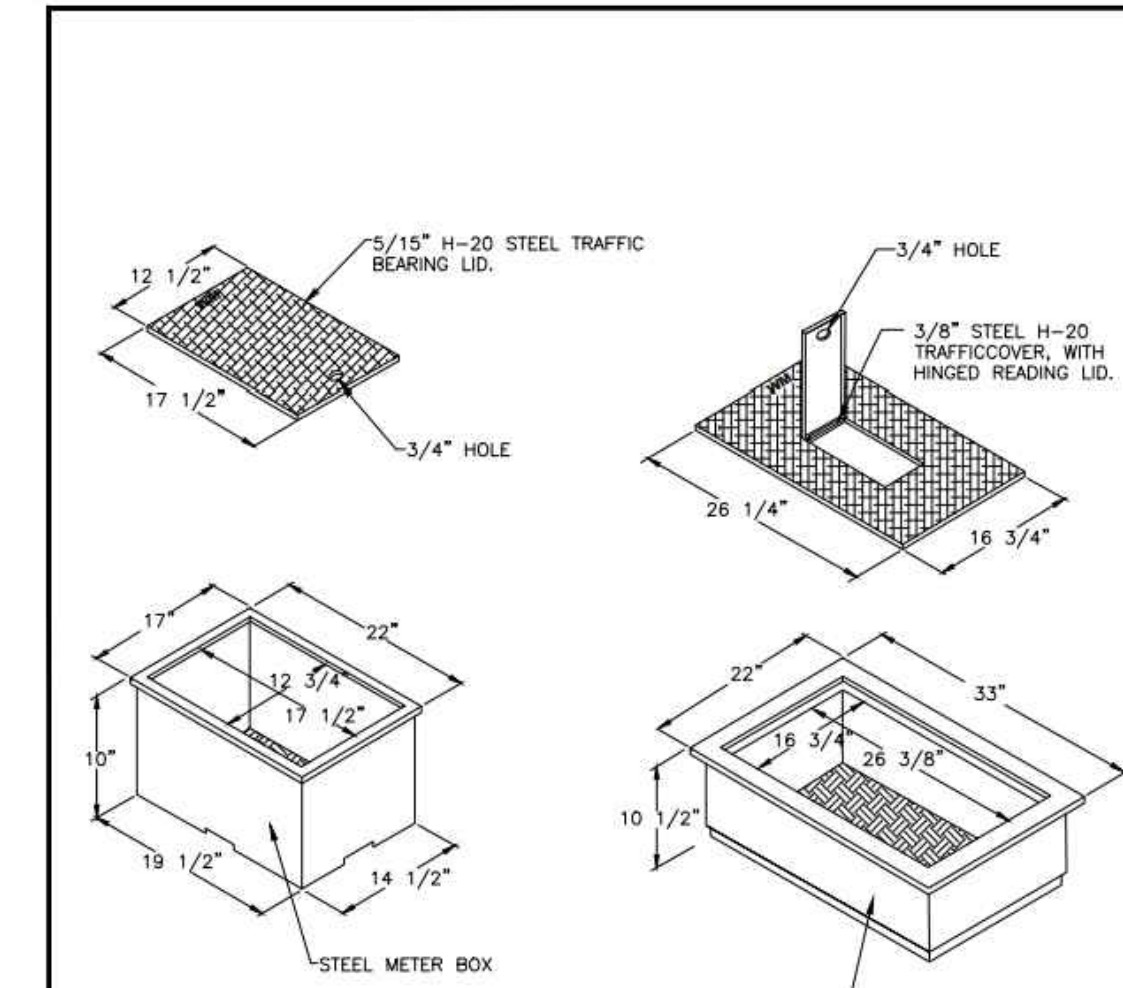
**BACKFLOW PREVENTION**  
NOT TO SCALE

**LAKE LINE INSTALLATION**  
NOT TO SCALE

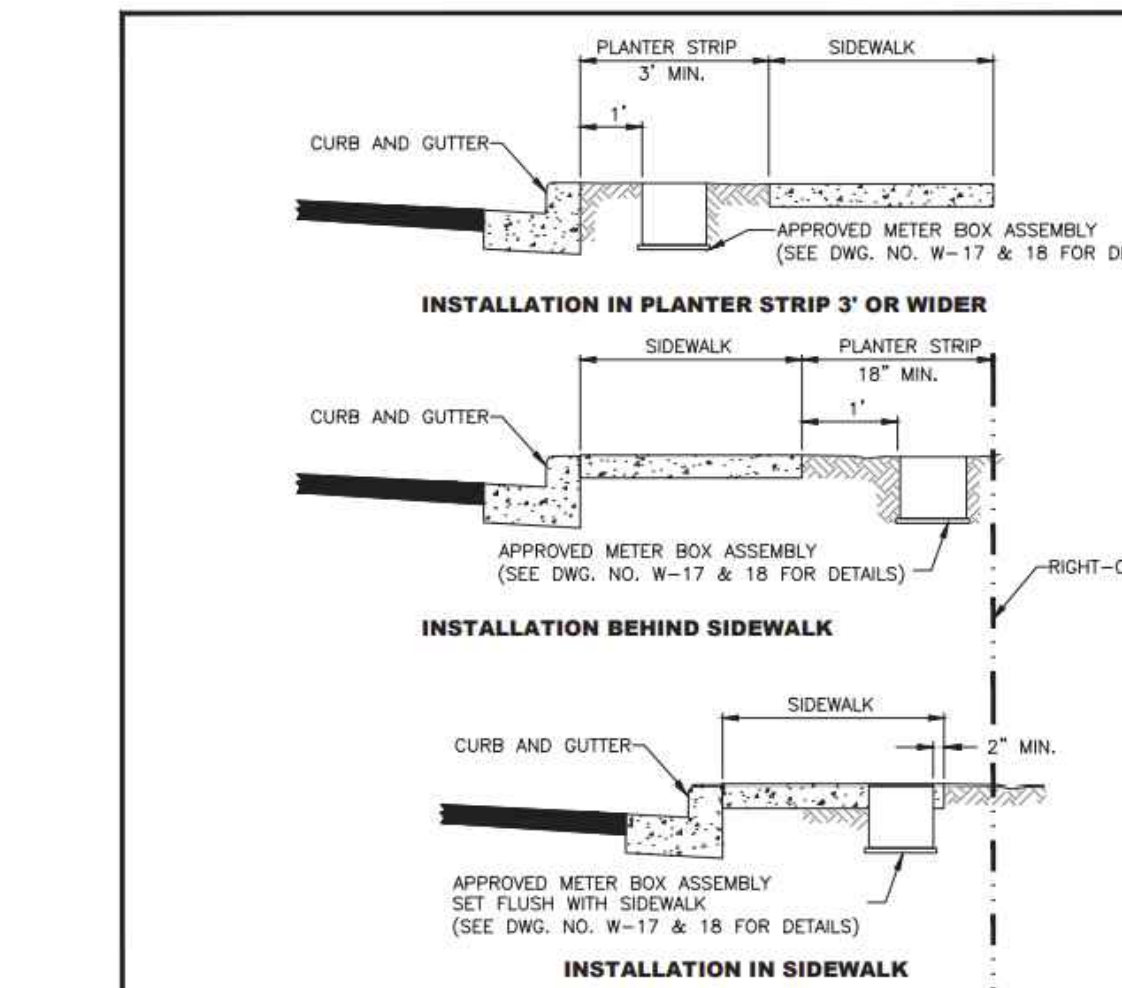
**WATER SERVICE PRESSURE REDUCING VALVE**  
NOT TO SCALE



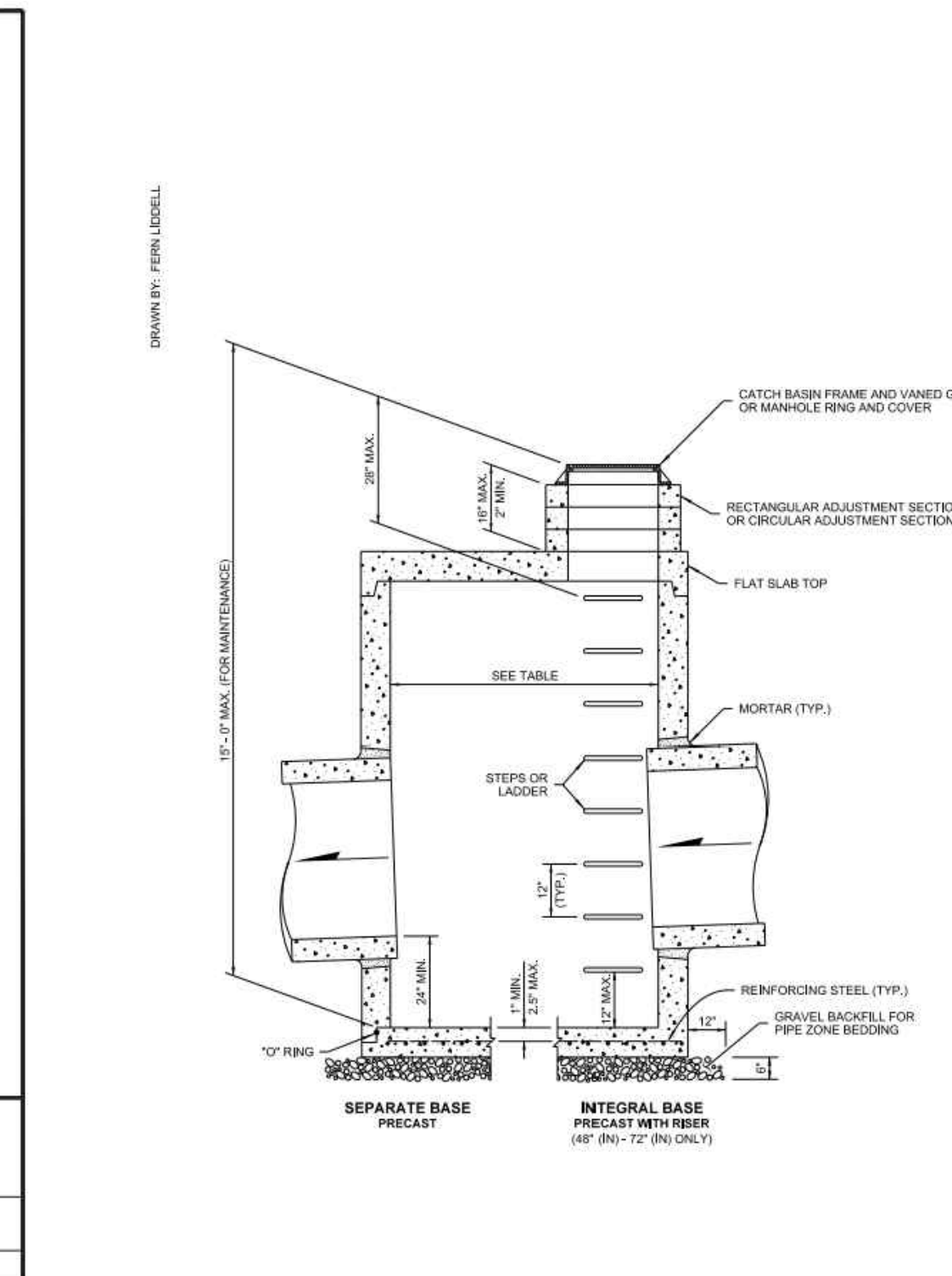
**CITY OF MERCER ISLAND  
STANDARD DETAILS  
WATER  
2\"/>**



**CITY OF MERCER ISLAND  
STANDARD DETAILS  
WATER  
1\"/>**



**CITY OF MERCER ISLAND  
STANDARD DETAILS  
WATER  
WATER METER PLACEMENT  
3-20-2006 NO SCALE APPROVED**



**CATCH BASIN TYPE 2**  
NOT TO SCALE

CATCH BASIN DIAMETER	PIPE MATERIAL WITH MAXIMUM INSIDE DIAMETER		MINIMUM DISTANCE BETWEEN KNOCKOUTS
	CONCRETE	ALL OTHERS	
48"	24"	30"	8"
54"	30"	36"	8"
60"	36"	42"	8"
72"	42"	48"	12"
84"	48"	54"	12"
96"	54"	60"	12"
120"	60"	72"	12"
144"	72"	84"	12"

**PIPE ALLOWANCES**

CATCH BASIN DIAMETER	PIPE MATERIAL WITH MAXIMUM INSIDE DIAMETER		MINIMUM DISTANCE BETWEEN KNOCKOUTS
	CONCRETE	ALL OTHERS	
48"	24"	30"	8"
54"	30"	36"	8"
60"	36"	42"	8"
72"	42"	48"	12"
84"	48"	54"	12"
96"	54"	60"	12"
120"	60"	72"	12"
144"	72"	84"	12"

**NOTES**

- No steps are required when height is 4' or less.
- The bottom of the precast catch basin may be sloped to facilitate cleaning. The frame may be cast into the adjustment section.
- The rectangular frame and grate may be installed with the flange up or down.
- Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1/2" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.

**APPROVED FOR PUBLICATION**  
Washington State Department of Transportation

**2\"/>**

**1\"/>**

**WATER METER PLACEMENT**  
NOT TO SCALE

**CATCH BASIN TYPE 2**  
NOT TO SCALE

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCCOLLAN ARCHITECTS\4045 WEST MERCER WAY\MERCER ISLAND\_BP PLANS.DWG  
LAST MODIFIED BY: JACK - SAVE DATE: 8/1/2022 3:32 PM - SHEET SET: 4045 WEST MERCER WAY\_BP PLANS - ORIGINAL SHEET FULL BLEED D (36.00 X 24.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017

REVISION  
DATE: 8/1/2022  
BY: JIL  
CYCLE 1 CITY REVIEW COMMENTS

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206 525 0024  
F: 206 525 1012  
www.dcgengr.com

**DCG** civil structural

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

**BENJAMIN J. IDELL**  
Professional Engineer  
No. 22082  
REG. EXPIRES 12/31/2024

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN ON PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

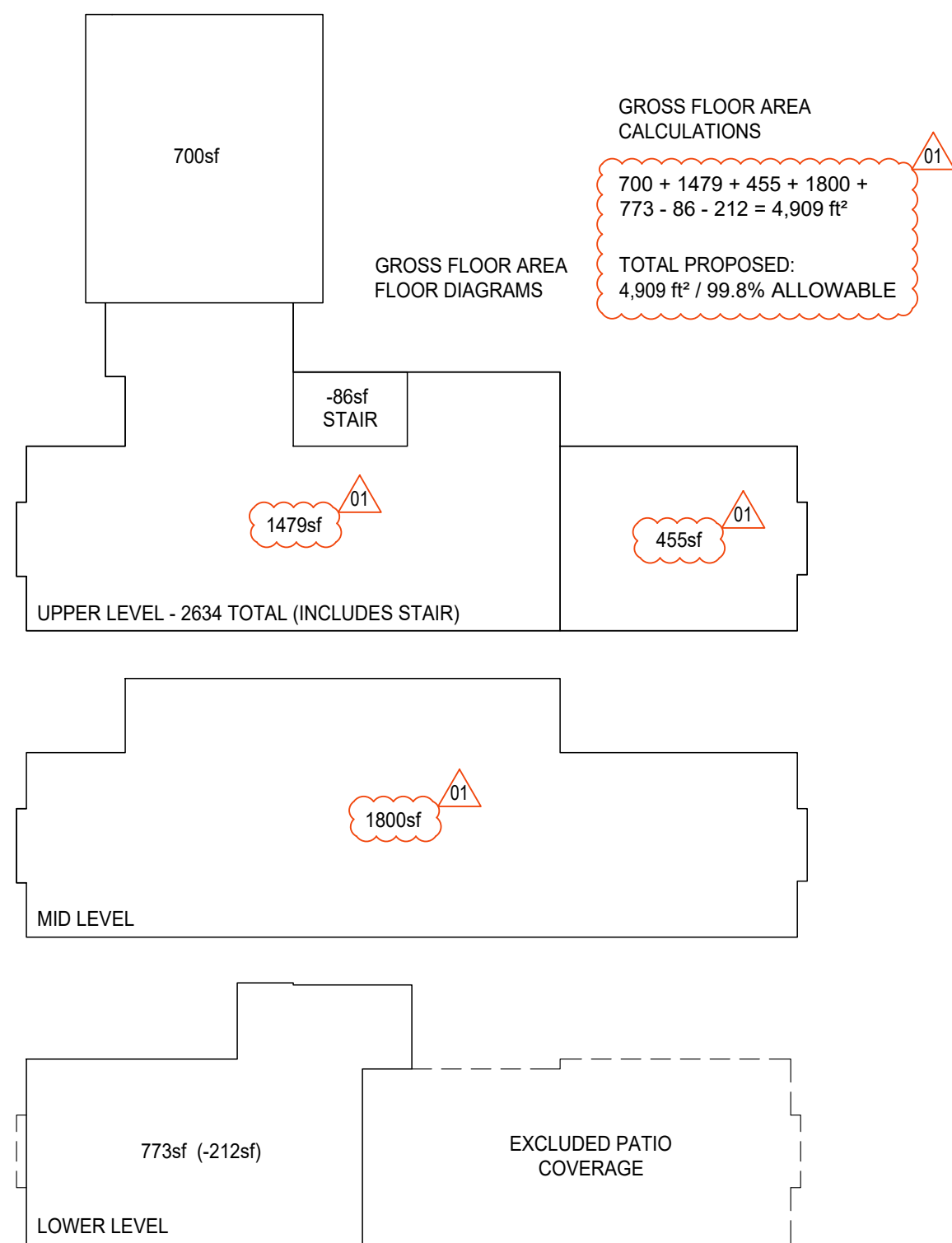
MIST LLC - ATTN: FERAS ALROUK  
7683 SE 27TH ST, UNIT #418  
MERCER ISLAND, WA 98040

4045 WEST MERCER WAY  
MERCER ISLAND, WA 98040

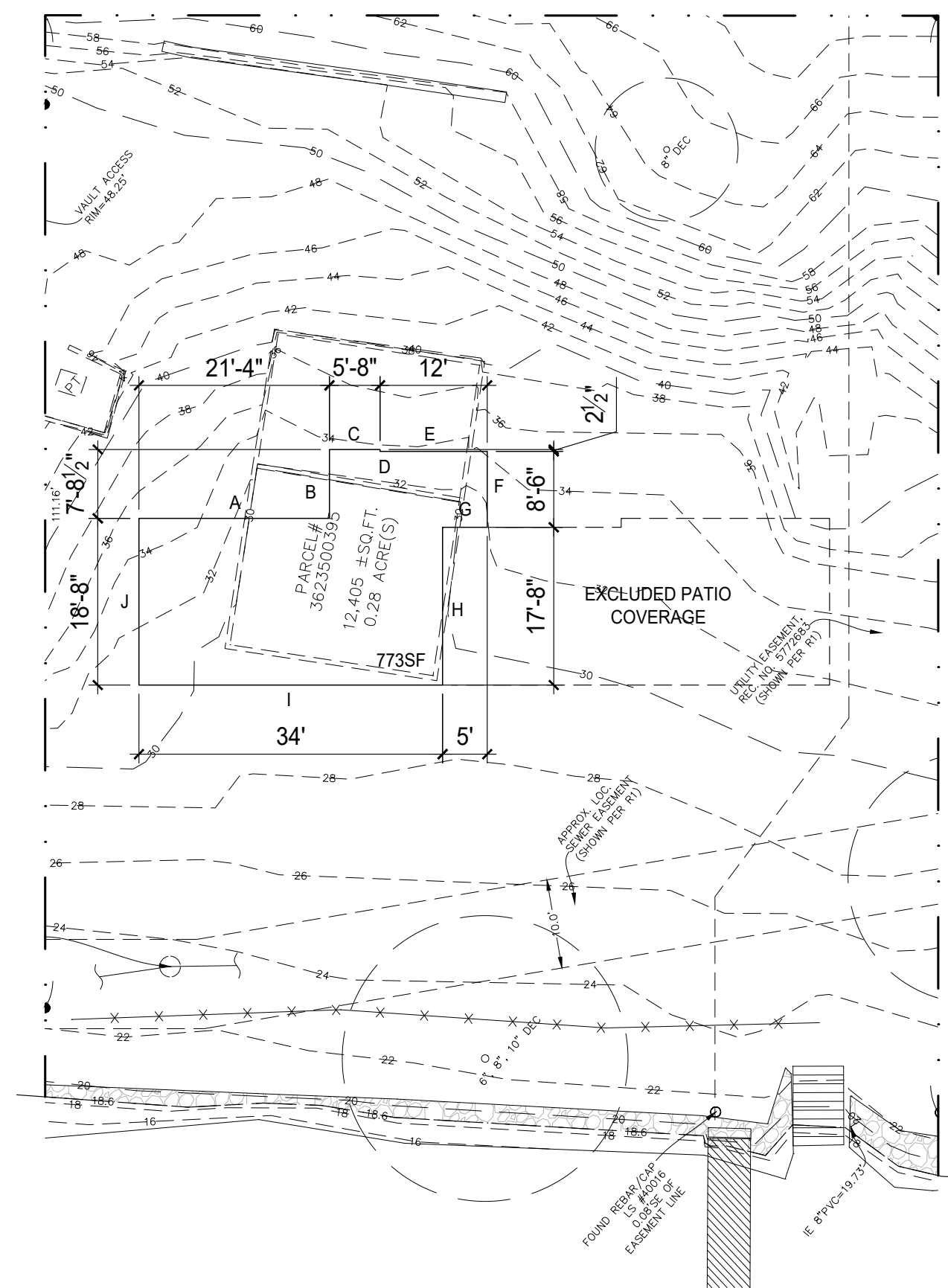
PROJECT: DETAILS

OWNER: PROJ. MANAGER: BI  
DESIGNED BY: JIL  
DRAWN BY: GS  
CHECKED BY: BI  
SCALE: AS SHOWN  
DATE: 8/1/2022 REV. SHEET 1 OF 7  
SHEET NUMBER: C07





**1 GROSS FLOOR AREA**  
SCALE: 1/16"=1'-0"



**2 GFA BASEMENT CALCS**  
SCALE: 1/16"=1'-0"

**GROSS FLOOR AREA CALCULATIONS**

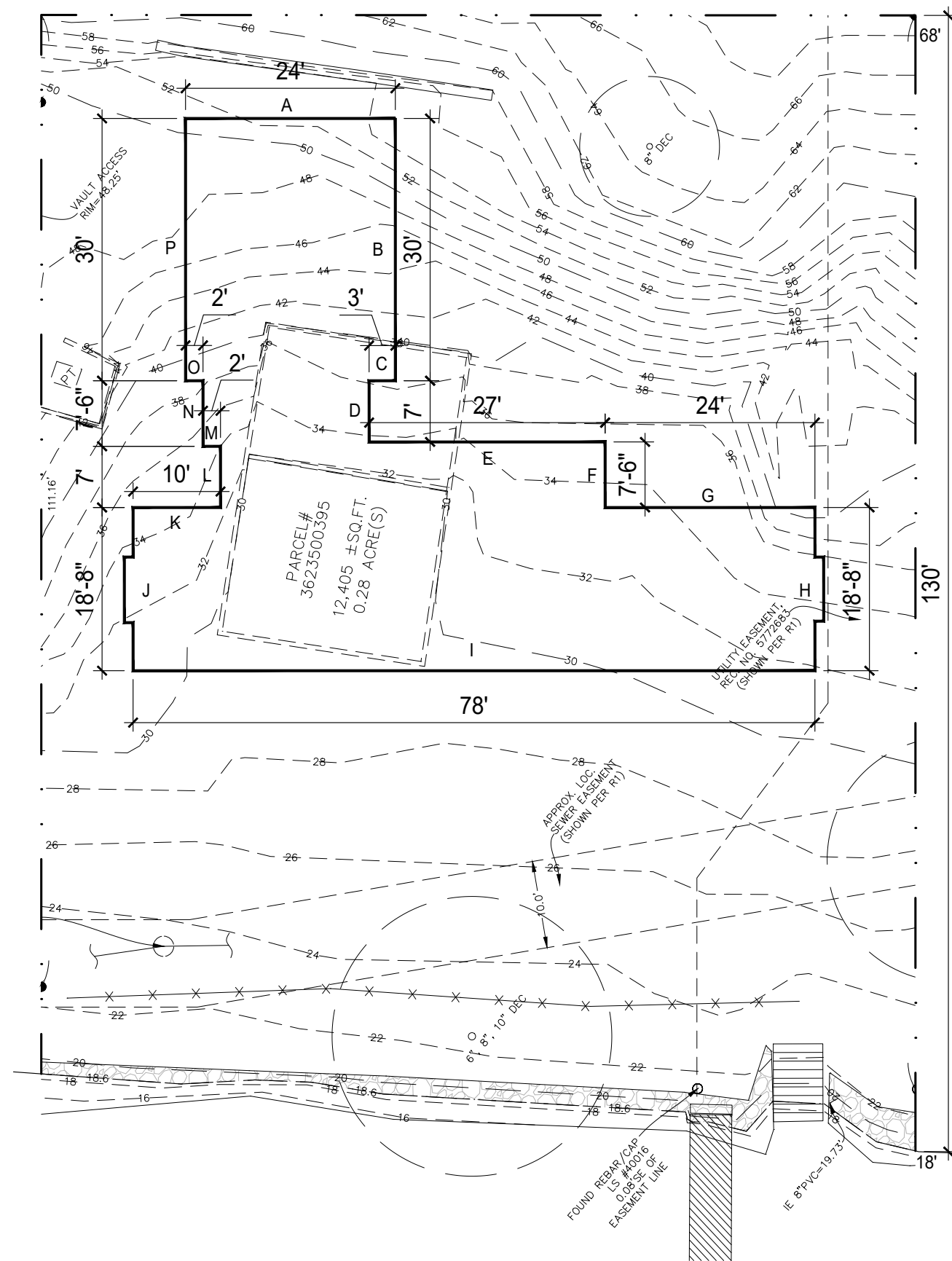
A	21.3'	40%	=	8.5'
B	7.7'	20%	=	1.5'
C	5.6'	50%	=	2.8'
D	2'	50%	=	.1'
E	12'	50%	=	6'
F	8.5'	50%	=	4.2'
G	5'	0%	=	0'
H	17.6'	0%	=	0'
I	34'	10%	=	3.4'
J	18.6'	50%	=	9.3'

35.8/130.5 = 27.4%

773sf x 25.8% = 212sf excluded

\*WALL HEIGHT IS 10FT

\*\*BASEMENT FFE IS 28'



**3 ABE & SLOPE CALCS**  
SCALE: 1/16"=1'-0"

**LOT SLOPE CALCULATIONS**

HIGHEST POINT	=	68'
LOWEST POINT	=	18'
ELEVATION Δ	=	50'
HORIZONTAL Δ	=	130'
68 - 18 = 50 / 130 = 0.385		
LOT SLOPE	=	38.5%

**AVERAGE BUILDING ELEVATION CALCULATIONS**

A	52.5'	=	24'-0"
B	45.0'	=	30'-0"
C	36.0'	=	3'-0"
D	35.0'	=	7'-0"
E	34.5'	=	27'-0"
F	34.5'	=	7'-6"
G	35.0'	=	24'-0"
H	34.5'	=	18'-8"
I	29.5'	=	78'-0"
J	33.0'	=	18'-6"
K	34.5'	=	10'-0"
L	33.0'	=	7'-0"
M	34.5'	=	2'-0"
N	37.0'	=	7'-6"
O	38.5'	=	2'-0"
P	47.0'	=	30'-0"

(52.5 x 24) + (45 x 30) + (36 x 3) + (35 x 7) + (34.5 x 27) + (34.5 x 7.5) + (35 x 24) + (34.5 x 18.8) + (29.5 x 78) + (33 x 18.6) + (34.5 x 10) + (33 x 7) + (34.5 x 2) + (37 x 7.5) + (38.5 x 2) + (47 x 30) = 10,959.25

24 + 30 + 3 + 7 + 27 + 7.5 + 24 + 18.6 + 78 + 18.6 + 10 + 7 + 2 + 7.5 + 2 + 30 = 296.2

A.B.E. = 36.99'    MAX HEIGHT = 66.99'

**GROSS FLOOR AREA**

PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
UPPER LEVEL*	2,179 ft <sup>2</sup>
MID LEVEL =	1,800 ft <sup>2</sup>
LOWER LEVEL =	773 ft <sup>2</sup>
UPPER LEVEL TERRACE =	455 ft <sup>2</sup>
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
BASEMENT EXEMPTION =	-212 ft <sup>2</sup>
<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b>

\*INCLUDES GARAGE

**DEVELOPMENT SUMMARY**

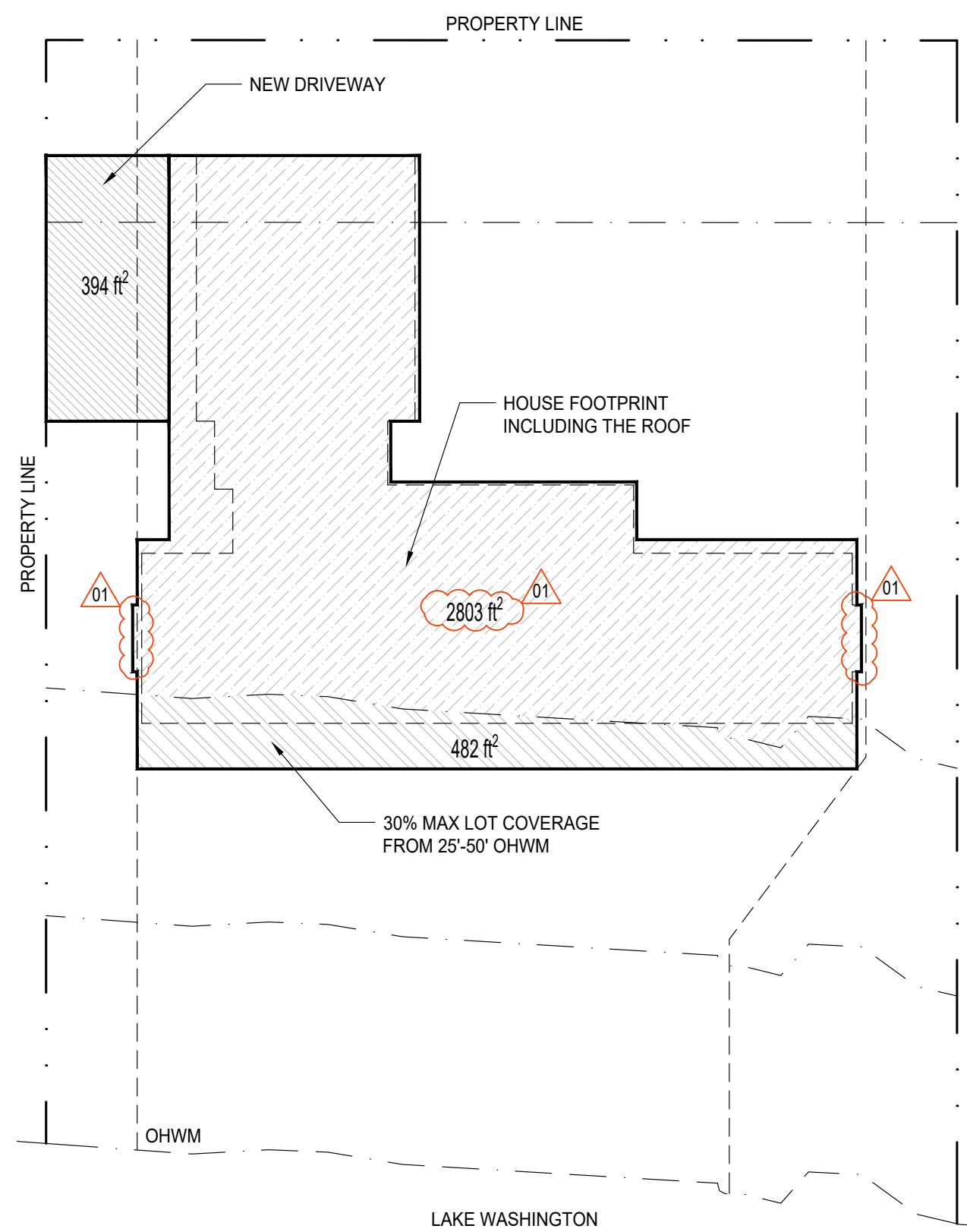
SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.99'

\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWM

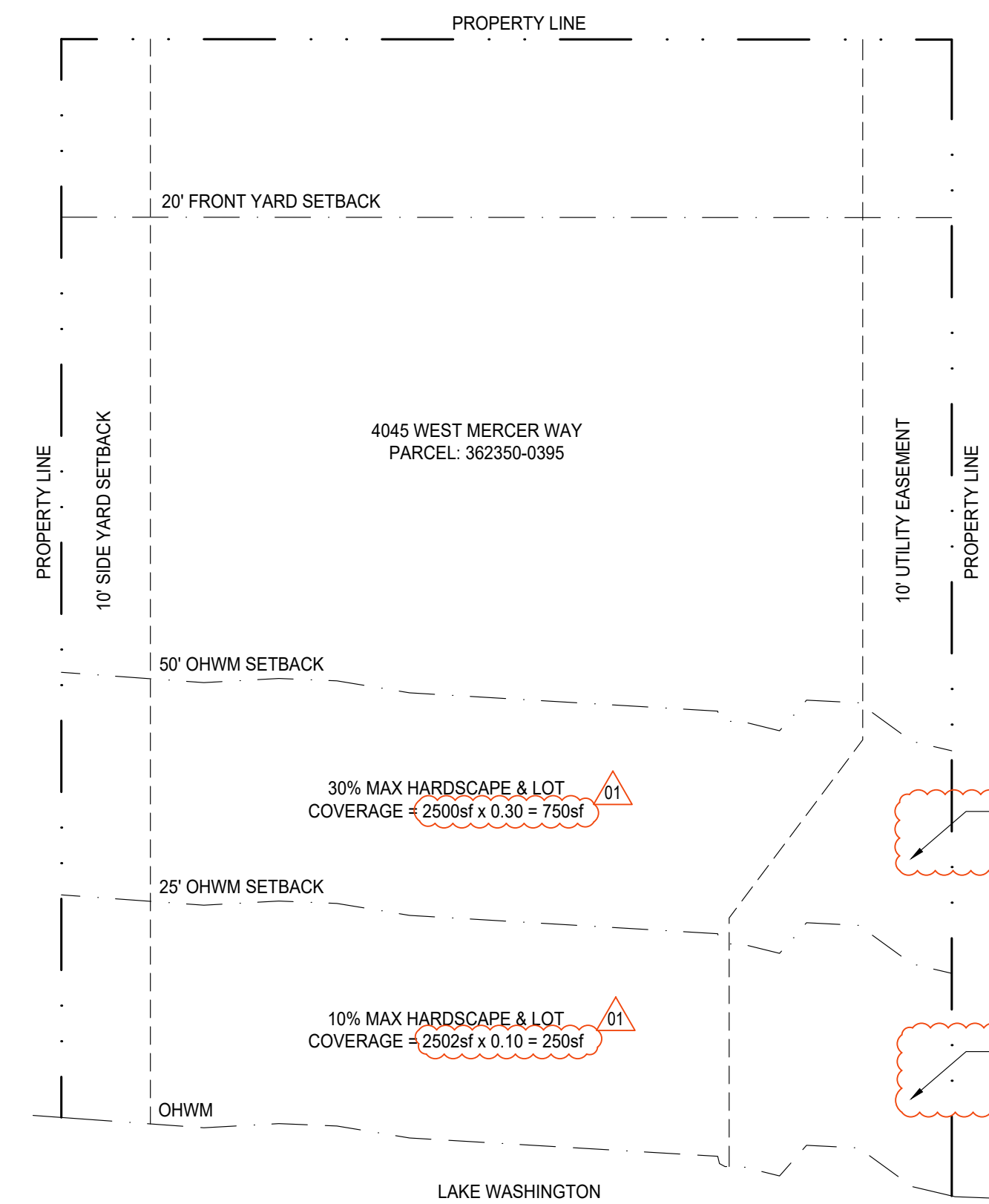
**SQUARE FOOTAGE CALCULATIONS**

LOWER LEVEL GROSS	=	773 ft <sup>2</sup>
MID LEVEL GROSS	=	1,800 ft <sup>2</sup>
UPPER LEVEL GROSS	=	1,479 ft <sup>2</sup>
GARAGE GROSS	=	700 ft <sup>2</sup>
COMBINED TOTAL GROSS	=	4,752 ft <sup>2</sup>
<b>OUTDOOR SPACES</b>		
COVERED UPPER TERRACE	=	455 ft <sup>2</sup>
COVERED LOWER PATIO*	=	789 ft <sup>2</sup>
UNCOVERED COURTYARD*	=	392 ft <sup>2</sup>
TOTAL OUTDOOR SPACES	=	1,636 ft <sup>2</sup>

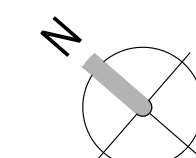
\*EXEMPT FROM GFA



**4 LOT COVERAGE**  
SCALE: 1/16"=1'-0"



**5 BUILDING ENVELOPE**  
SCALE: 1/16"=1'-0"





GROSS FLOOR AREA	
PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
UPPER LEVEL*	2,179 ft <sup>2</sup> / 01
MID LEVEL =	1,800 ft <sup>2</sup> / 01
LOWER LEVEL =	773 ft <sup>2</sup> / 01
UPPER LEVEL TERRACE =	455 ft <sup>2</sup> / 01
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
BASEMENT EXEMPTION =	-212 ft <sup>2</sup>
<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b> / 01

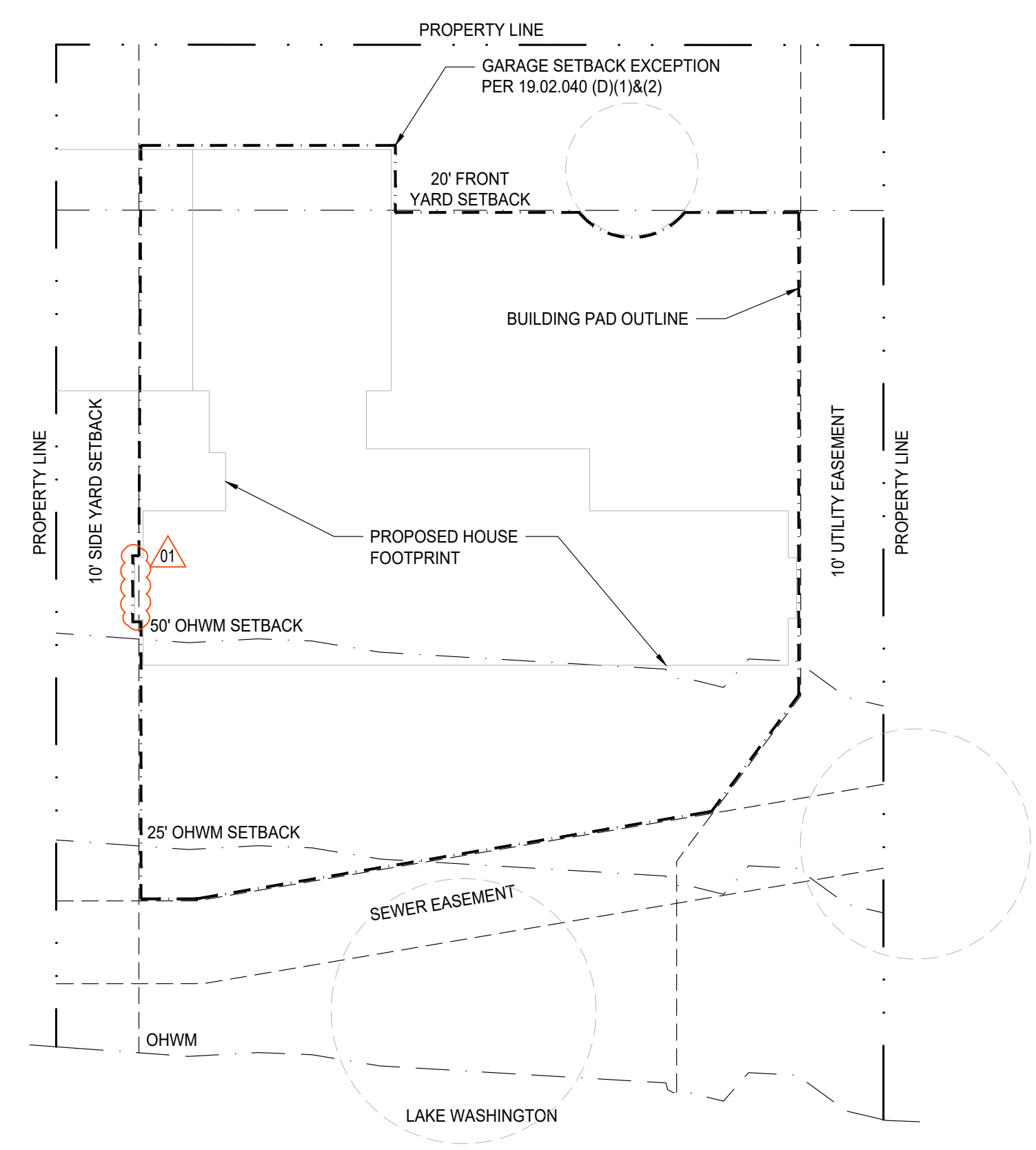
\*INCLUDES GARAGE

DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	36.99'

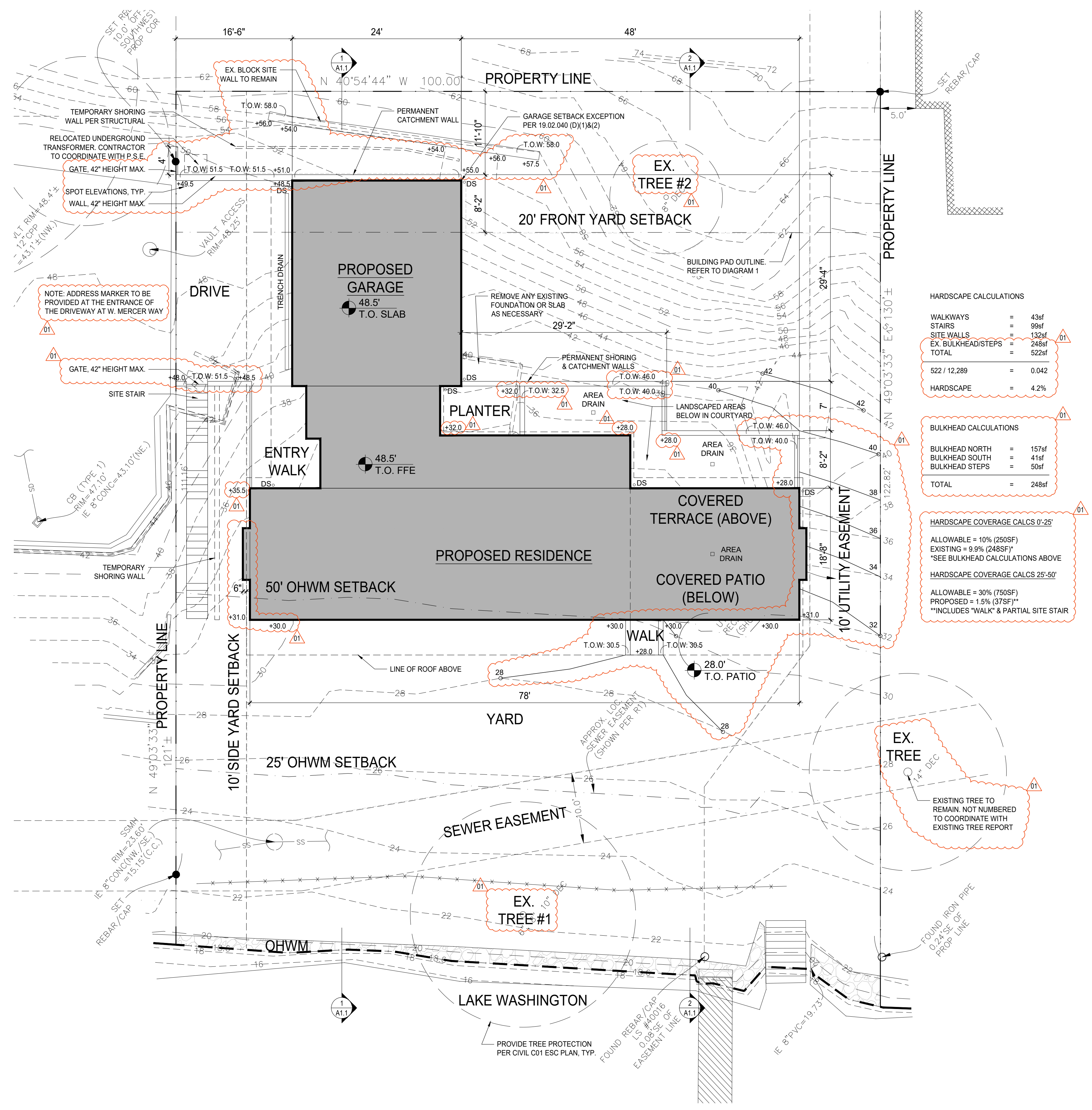
\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft <sup>2</sup> / 01
MID LEVEL GROSS	= 1,800 ft <sup>2</sup> / 01
UPPER LEVEL GROSS	= 1,479 ft <sup>2</sup> / 01
GARAGE GROSS	= 700 ft <sup>2</sup> / 01
<b>COMBINED TOTAL GROSS</b>	<b>= 4,752 ft<sup>2</sup> / 01</b>
OUTDOOR SPACES	
COVERED UPPER TERRACE	= 455 ft <sup>2</sup> / 01
COVERED LOWER PATIO*	= 789 ft <sup>2</sup> / 01
UNCOVERED COURTYARD*	= 392 ft <sup>2</sup> / 01
<b>TOTAL OUTDOOR SPACES</b>	<b>= 1,636 ft<sup>2</sup> / 01</b>

\*EXEMPT FROM GFA



1 BUILDING PAD DIAGRAM  
SCALE: 1/16"=1'-0"



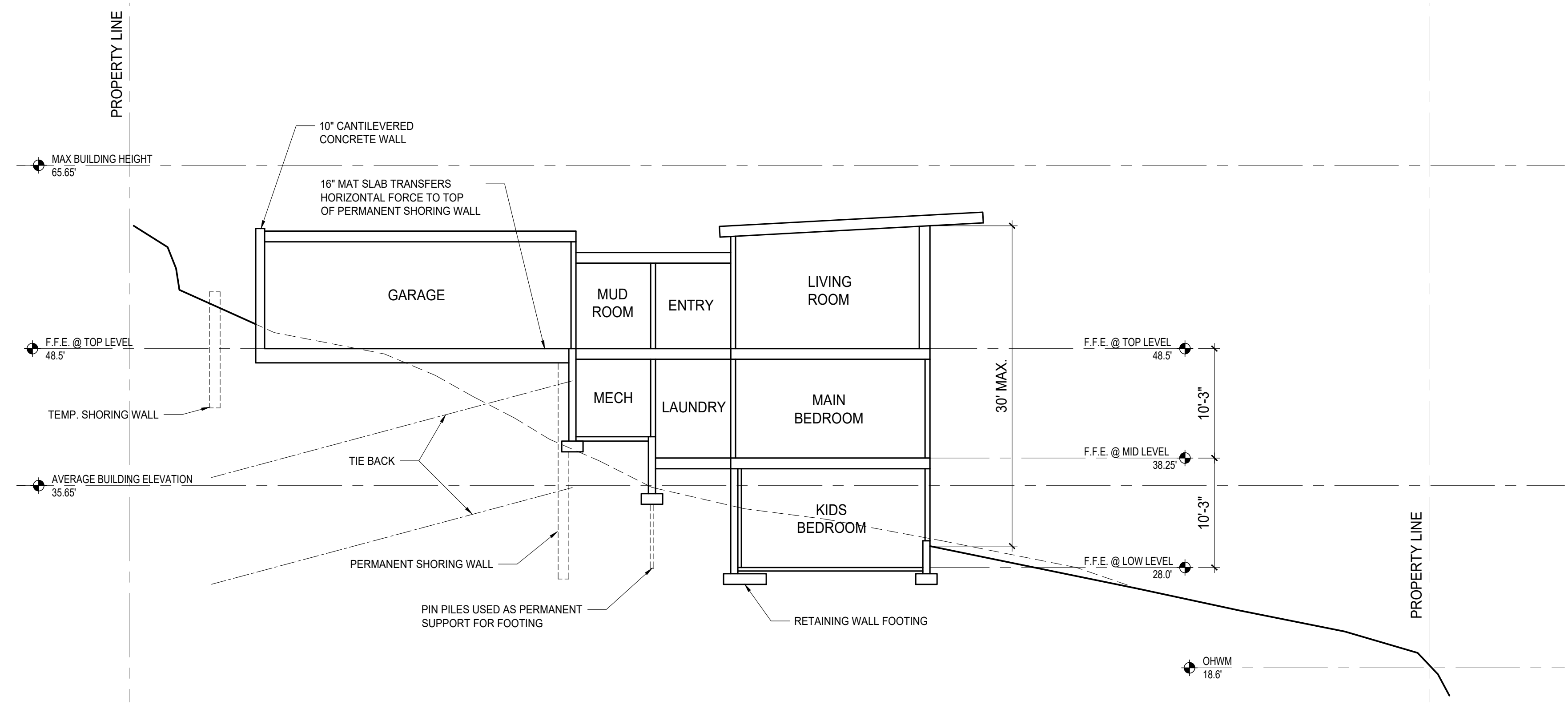
2 SITE PLAN  
SCALE: 1/8"=1'-0"

HARDSCAPE CALCULATIONS	
WALKWAYS	= 43sf
STAIRS	= 99sf
SITE WALLS	= 132sf / 01
EX. BULKHEAD/STEPS	= 248sf
<b>TOTAL</b>	<b>= 522sf</b>
522 / 12,289	= 0.042
<b>HARDSCAPE</b>	<b>= 4.2%</b>

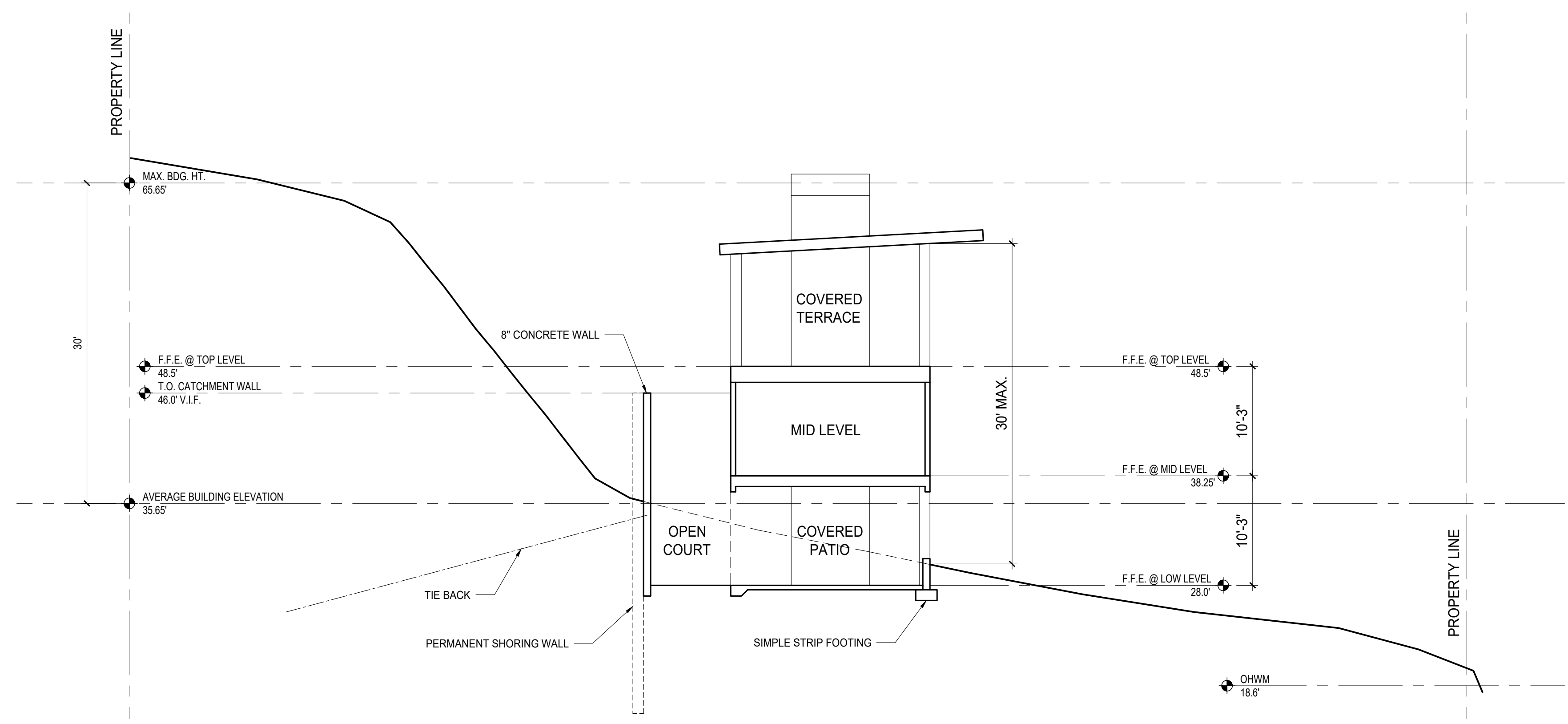
BULKHEAD CALCULATIONS	
BULKHEAD NORTH	= 157sf
BULKHEAD SOUTH	= 41sf
BULKHEAD STEPS	= 50sf
<b>TOTAL</b>	<b>= 248sf</b>

HARDSCAPE COVERAGE CALCS 0'-25'	
ALLOWABLE = 10% (250SF)	
EXISTING = 9.9% (248SF)	
*SEE BULKHEAD CALCULATIONS ABOVE	
HARDSCAPE COVERAGE CALCS 25'-80'	
ALLOWABLE = 30% (750SF)	
PROPOSED = 1.5% (37SF)	
*INCLUDES "WALK" & PARTIAL SITE STAIR	





1 SITE SECTION  
SCALE: 1/8"=1'-0"



2 SITE SECTION  
SCALE: 1/8"=1'-0"



DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

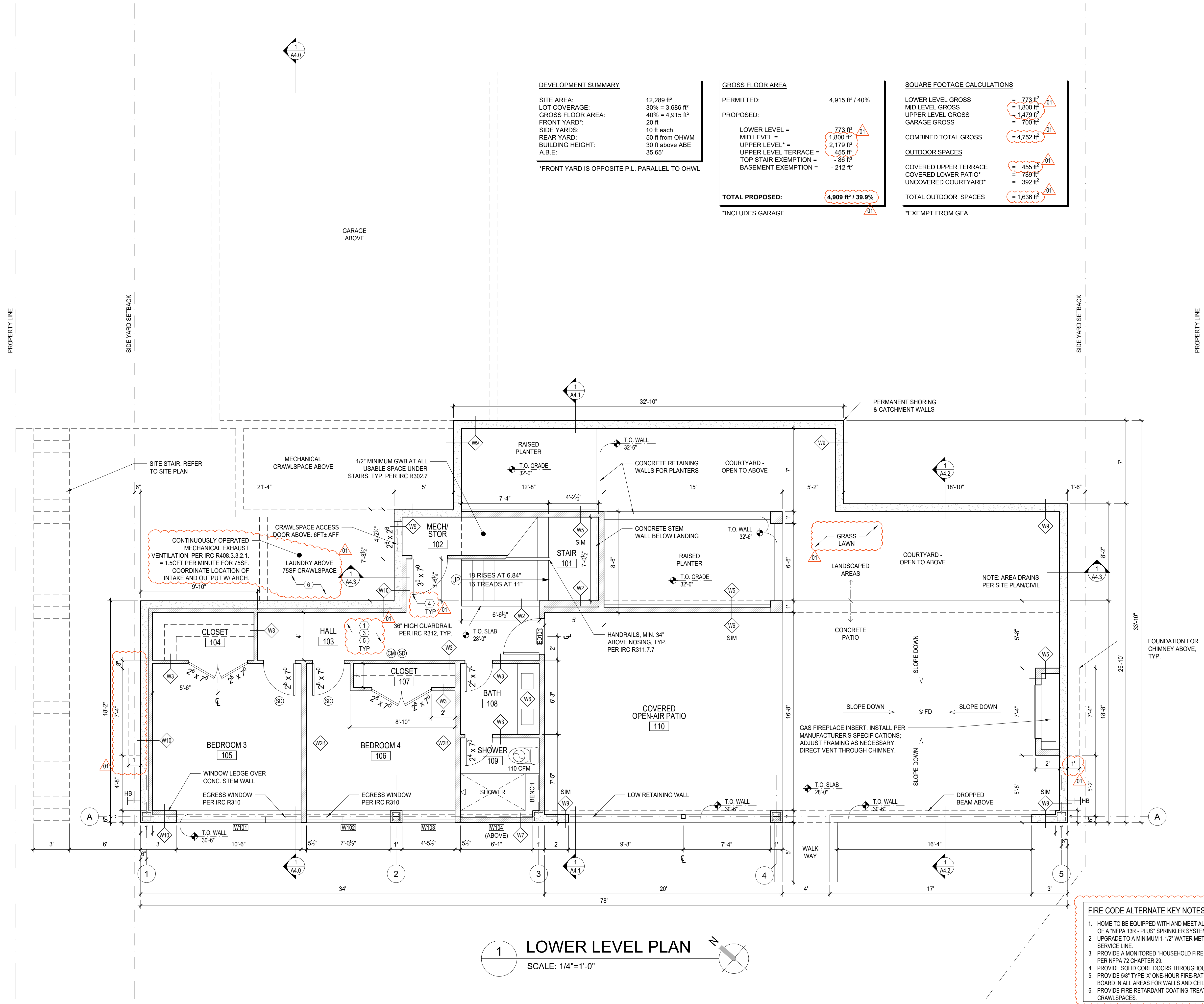
\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA	
PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
LOWER LEVEL =	773 ft <sup>2</sup>
MID LEVEL =	1,800 ft <sup>2</sup>
UPPER LEVEL* =	2,179 ft <sup>2</sup>
UPPER LEVEL TERRACE =	455 ft <sup>2</sup>
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
BASEMENT EXEMPTION =	-212 ft <sup>2</sup>
<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b>

\*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft <sup>2</sup>
MID LEVEL GROSS	= 1,800 ft <sup>2</sup>
UPPER LEVEL GROSS	= 1,479 ft <sup>2</sup>
GARAGE GROSS	= 700 ft <sup>2</sup>
<b>COMBINED TOTAL GROSS</b>	<b>= 4,752 ft<sup>2</sup></b>
<b>OUTDOOR SPACES</b>	
COVERED UPPER TERRACE	= 455 ft <sup>2</sup>
COVERED LOWER PATIO*	= 789 ft <sup>2</sup>
UNCOVERED COURTYARD*	= 392 ft <sup>2</sup>
<b>TOTAL OUTDOOR SPACES</b>	<b>= 1,636 ft<sup>2</sup></b>

\*EXEMPT FROM GFA



**1 LOWER LEVEL PLAN**  
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
  - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
  - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
  - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
  - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
  - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
FLOOR PLANS

SHEET:  
**A2.1**



DEVELOPMENT SUMMARY	
SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

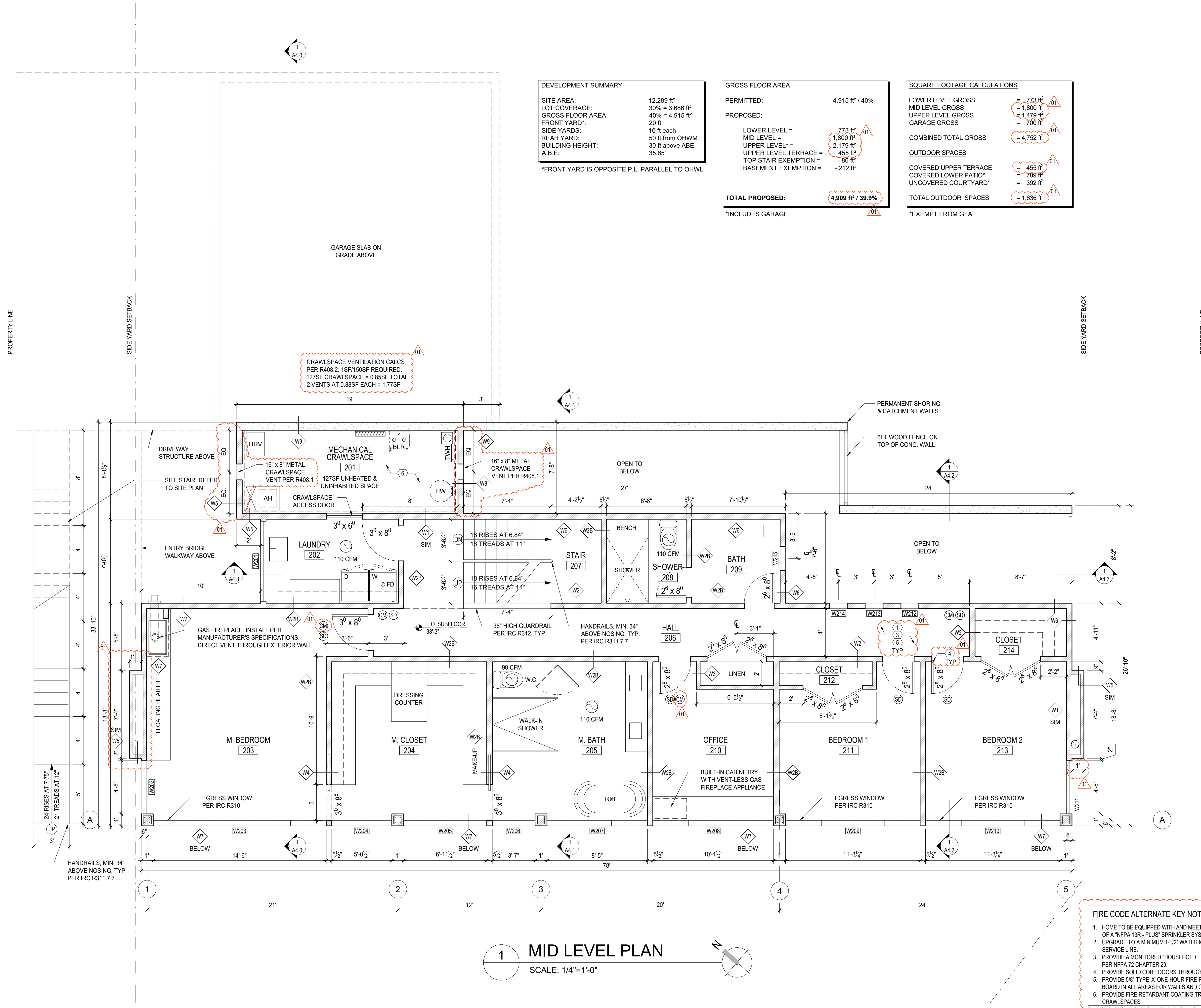
\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

GROSS FLOOR AREA	
PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
LOWER LEVEL =	773 ft <sup>2</sup>
MID LEVEL =	1,800 ft <sup>2</sup>
UPPER LEVEL* =	2,179 ft <sup>2</sup>
UPPER LEVEL TERRACE =	455 ft <sup>2</sup>
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
BASEMENT EXEMPTION =	-212 ft <sup>2</sup>
<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b>

\*INCLUDES GARAGE

SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL GROSS	= 773 ft <sup>2</sup>
MID LEVEL GROSS	= 1,800 ft <sup>2</sup>
UPPER LEVEL GROSS	= 1,479 ft <sup>2</sup>
GARAGE GROSS	= 700 ft <sup>2</sup>
<b>COMBINED TOTAL GROSS</b>	<b>= 4,752 ft<sup>2</sup></b>
<b>OUTDOOR SPACES</b>	
COVERED UPPER TERRACE	= 455 ft <sup>2</sup>
COVERED LOWER PATIO*	= 789 ft <sup>2</sup>
UNCOVERED COURTYARD*	= 392 ft <sup>2</sup>
<b>TOTAL OUTDOOR SPACES</b>	<b>= 1,636 ft<sup>2</sup></b>

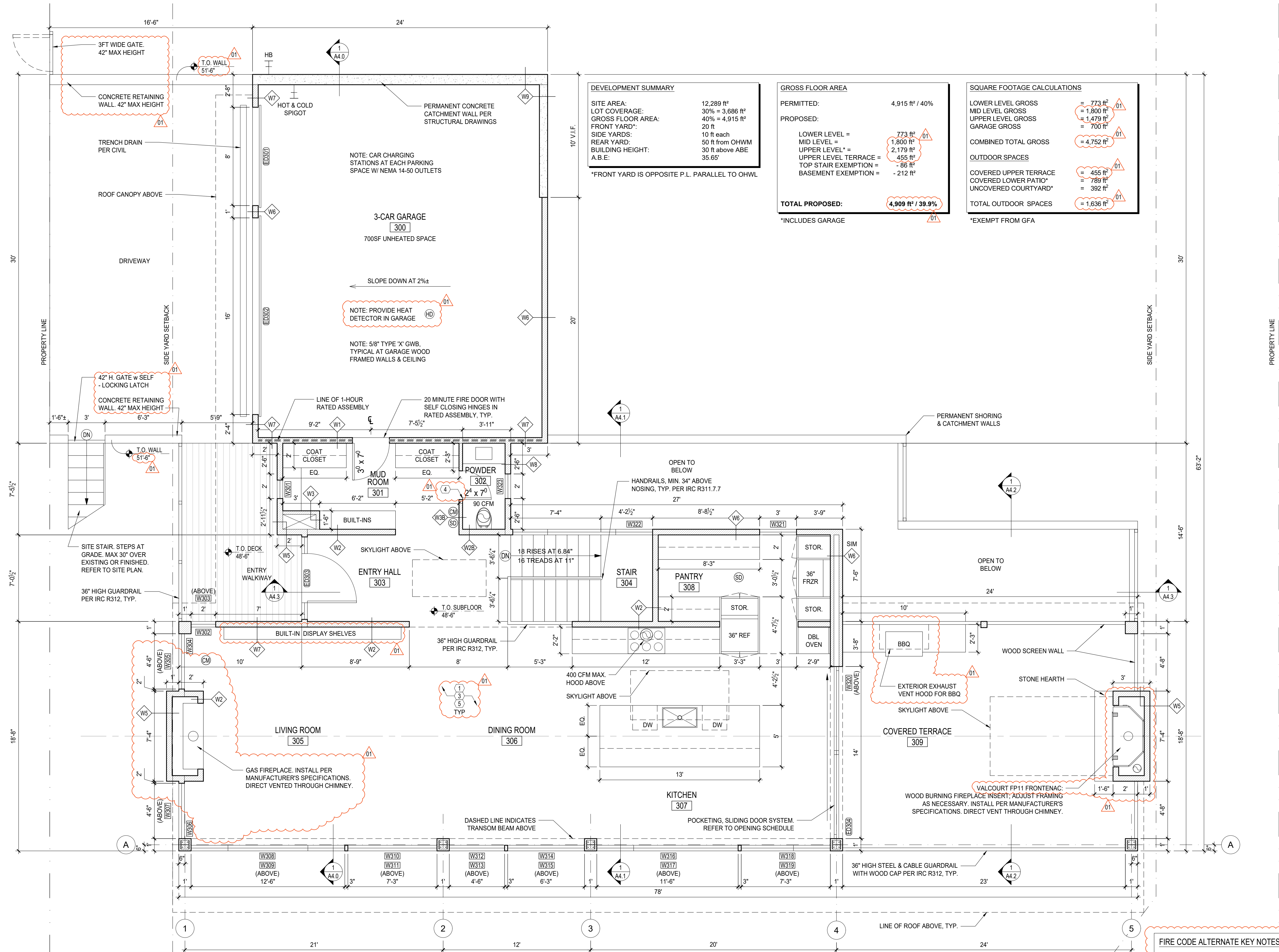
\*EXEMPT FROM GFA



1 MID LEVEL PLAN  
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
  - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
  - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
  - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
  - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
  - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.





**DEVELOPMENT SUMMARY**

SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

**GROSS FLOOR AREA**

PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
LOWER LEVEL =	773 ft <sup>2</sup>
MID LEVEL =	1,800 ft <sup>2</sup>
UPPER LEVEL* =	2,179 ft <sup>2</sup>
UPPER LEVEL TERRACE =	455 ft <sup>2</sup>
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
BASEMENT EXEMPTION =	-212 ft <sup>2</sup>
<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b>

\*INCLUDES GARAGE

**SQUARE FOOTAGE CALCULATIONS**

LOWER LEVEL GROSS	= 773 ft <sup>2</sup>
MID LEVEL GROSS	= 1,800 ft <sup>2</sup>
UPPER LEVEL GROSS	= 1,479 ft <sup>2</sup>
GARAGE GROSS	= 700 ft <sup>2</sup>
<b>COMBINED TOTAL GROSS</b>	<b>= 4,752 ft<sup>2</sup></b>
<b>OUTDOOR SPACES</b>	
COVERED UPPER TERRACE	= 455 ft <sup>2</sup>
COVERED LOWER PATIO*	= 789 ft <sup>2</sup>
UNCOVERED COURTYARD*	= 392 ft <sup>2</sup>
<b>TOTAL OUTDOOR SPACES</b>	<b>= 1,636 ft<sup>2</sup></b>

\*EXEMPT FROM GFA

**1 UPPER LEVEL PLAN**  
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
  - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
  - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
  - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
  - PROVIDE 5/8" TYPE 'X' ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
  - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
FLOOR PLANS

SHEET:

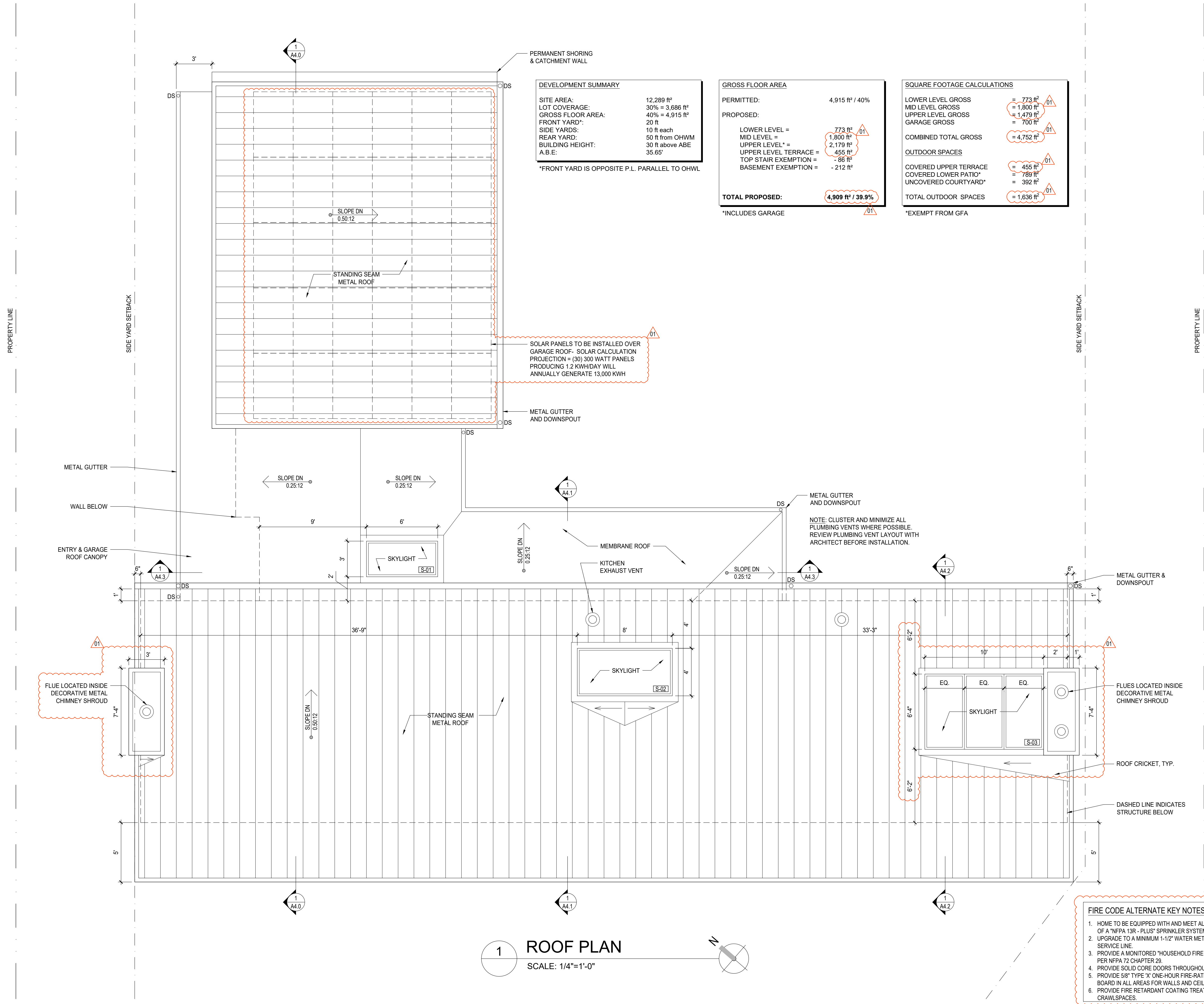
**A2.3**



PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS 01 08.12.2022



**DEVELOPMENT SUMMARY**

SITE AREA:	12,289 ft <sup>2</sup>
LOT COVERAGE:	30% = 3,686 ft <sup>2</sup>
GROSS FLOOR AREA:	40% = 4,915 ft <sup>2</sup>
FRONT YARD*:	20 ft
SIDE YARDS:	10 ft each
REAR YARD:	50 ft from OHWM
BUILDING HEIGHT:	30 ft above ABE
A.B.E.:	35.65'

\*FRONT YARD IS OPPOSITE P.L. PARALLEL TO OHWL

**GROSS FLOOR AREA**

PERMITTED:	4,915 ft <sup>2</sup> / 40%
PROPOSED:	
LOWER LEVEL =	773 ft <sup>2</sup>
MID LEVEL =	1,800 ft <sup>2</sup>
UPPER LEVEL* =	2,179 ft <sup>2</sup>
UPPER LEVEL TERRACE =	455 ft <sup>2</sup>
TOP STAIR EXEMPTION =	-86 ft <sup>2</sup>
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<b>TOTAL PROPOSED:</b>	<b>4,909 ft<sup>2</sup> / 39.9%</b>

\*INCLUDES GARAGE

**SQUARE FOOTAGE CALCULATIONS**

LOWER LEVEL GROSS	= 773 ft <sup>2</sup>
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<b>OUTDOOR SPACES</b>	
COVERED UPPER TERRACE	= 455 ft <sup>2</sup>
COVERED LOWER PATIO*	= 789 ft <sup>2</sup>
UNCOVERED COURTYARD*	= 392 ft <sup>2</sup>
<b>TOTAL OUTDOOR SPACES</b>	<b>= 1,636 ft<sup>2</sup></b>

\*EXEMPT FROM GFA

**1 ROOF PLAN**  
SCALE: 1/4"=1'-0"

- FIRE CODE ALTERNATE KEY NOTES:** (XX)
- HOME TO BE EQUIPPED WITH AND MEET ALL REQUIREMENTS OF A "NFPA 13R - PLUS" SPRINKLER SYSTEM.
  - UPGRADE TO A MINIMUM 1-1/2" WATER METER AND 2" SERVICE LINE.
  - PROVIDE A MONITORED "HOUSEHOLD FIRE ALARM SYSTEM" PER NFPA 72 CHAPTER 28.
  - PROVIDE SOLID CORE DOORS THROUGHOUT THE HOME.
  - PROVIDE 5/8" TYPE "X" ONE-HOUR FIRE-RATED GYPSUM WALL BOARD IN ALL AREAS FOR WALLS AND CEILINGS.
  - PROVIDE FIRE RETARDANT COATING TREATMENT IN ALL CRAWLSPACES.

DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
FLOOR PLANS

SHEET:

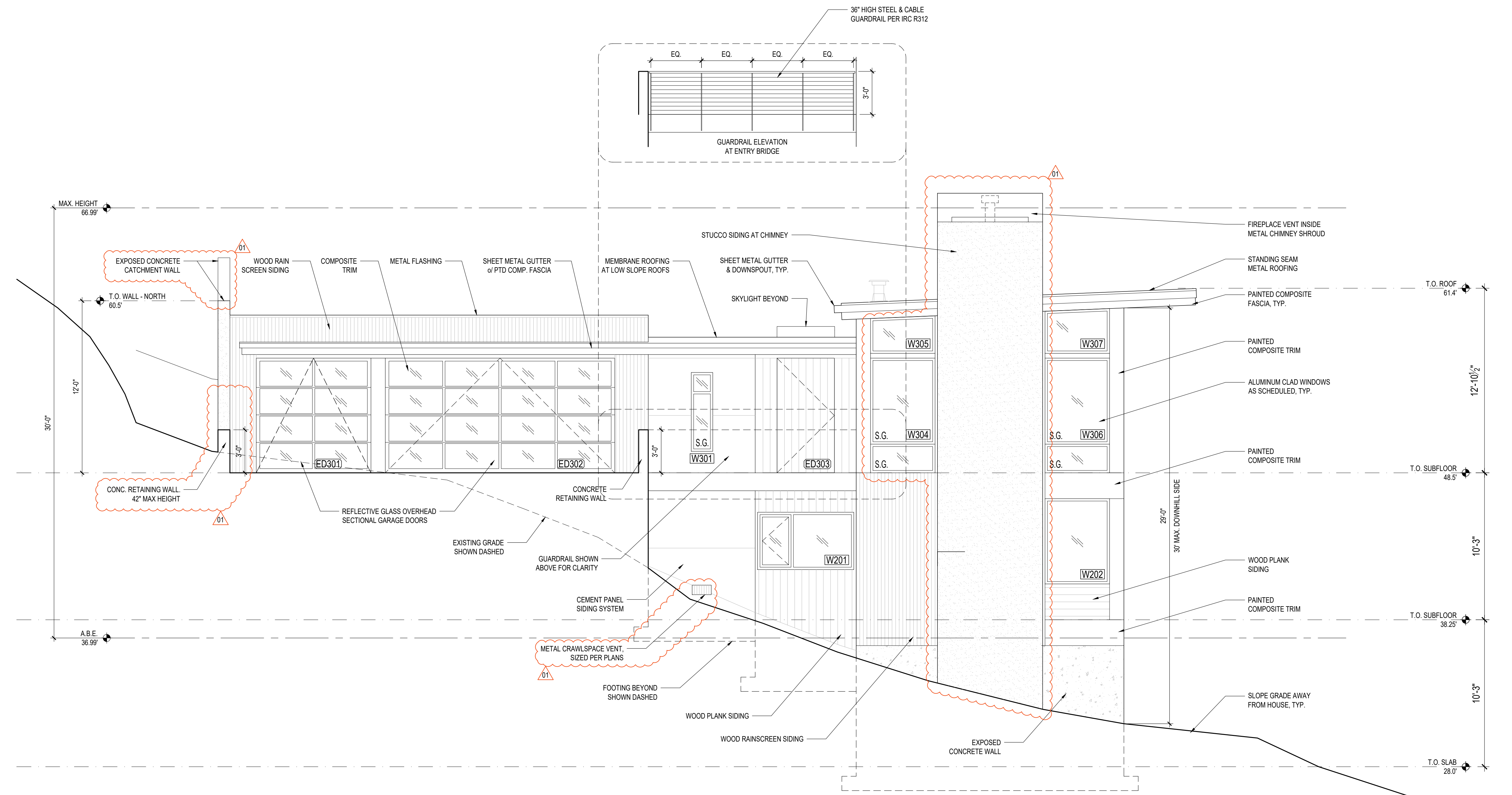
**A2.4**



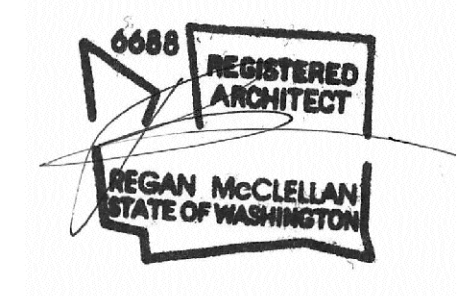
PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS 1 08.12.2022



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET:

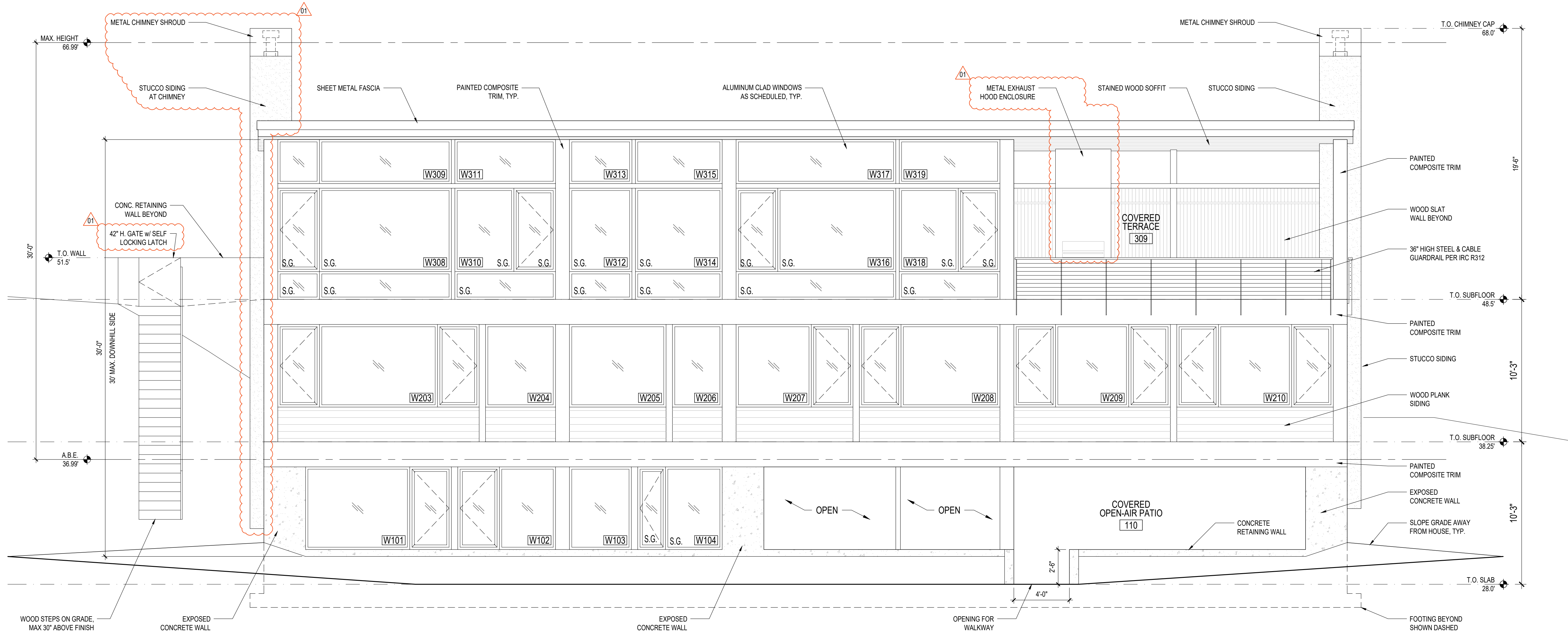
A3.0



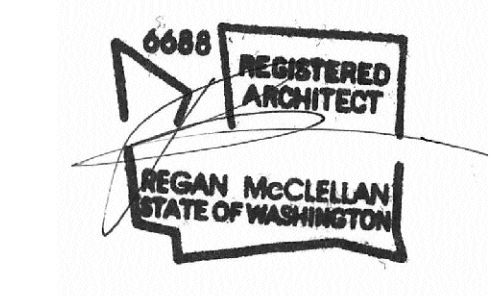
PROJECT:  
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4045 W MERCER WAY  
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MIST LLC

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1 WEST ELEVATION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET:

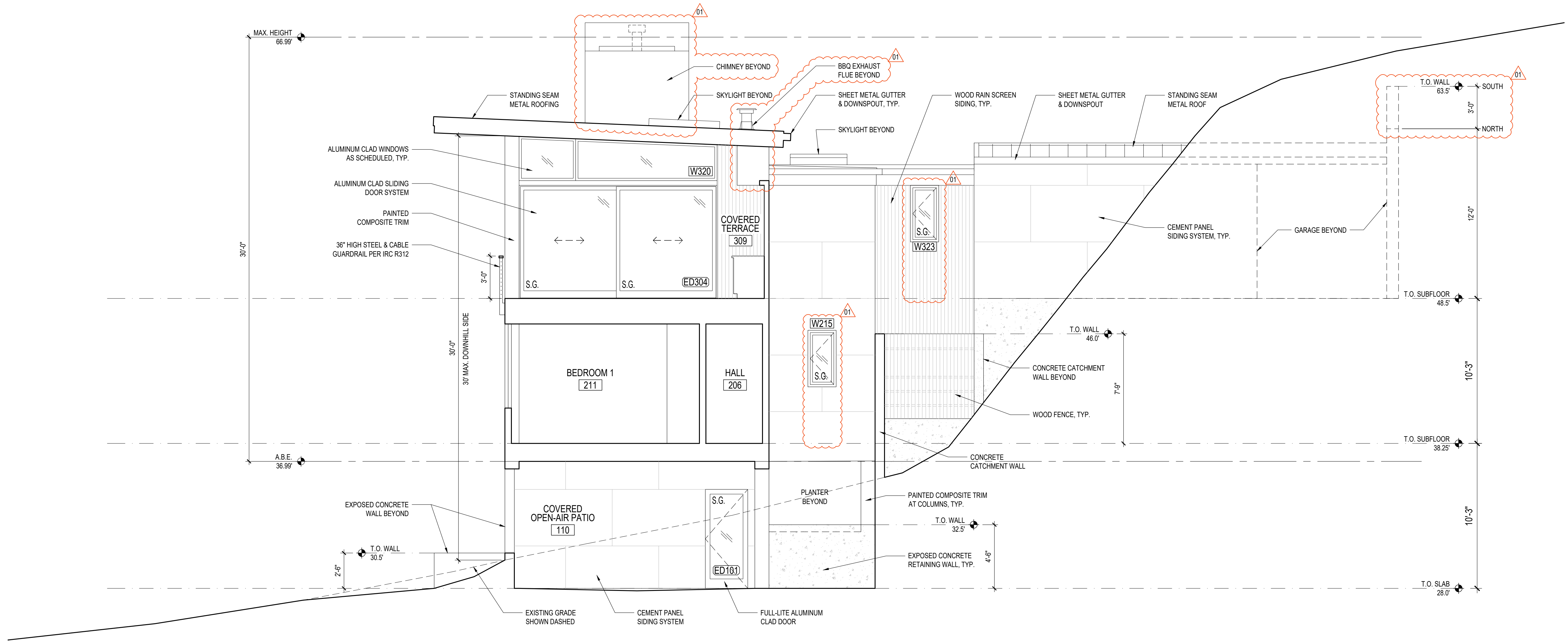
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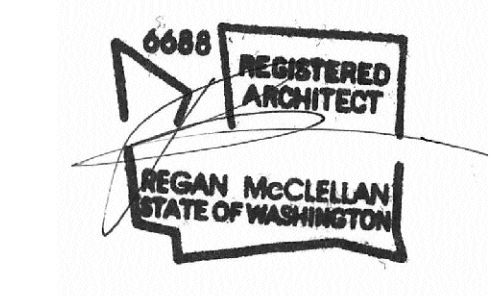
PROJECT:  
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4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
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PERMIT REVISIONS 08.12.2022



1 SOUTH CUTAWAY ELEVATION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET:

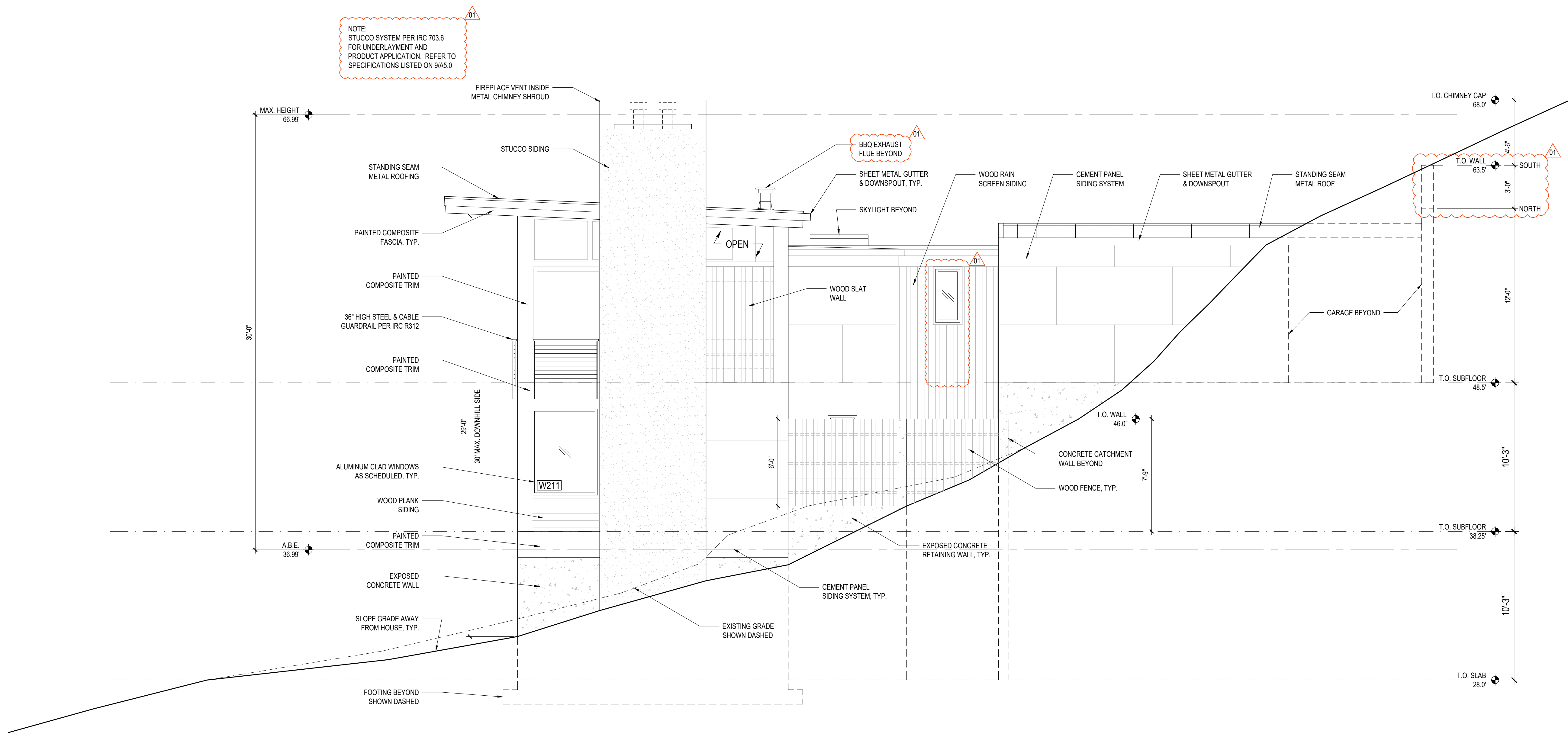
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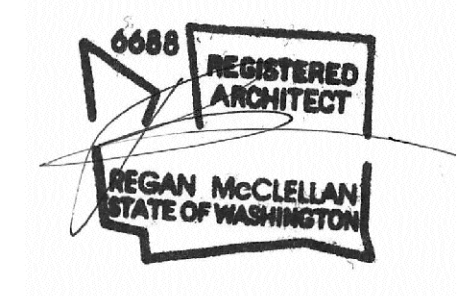
PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
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PERMIT REVISIONS 08.12.2022



1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET:

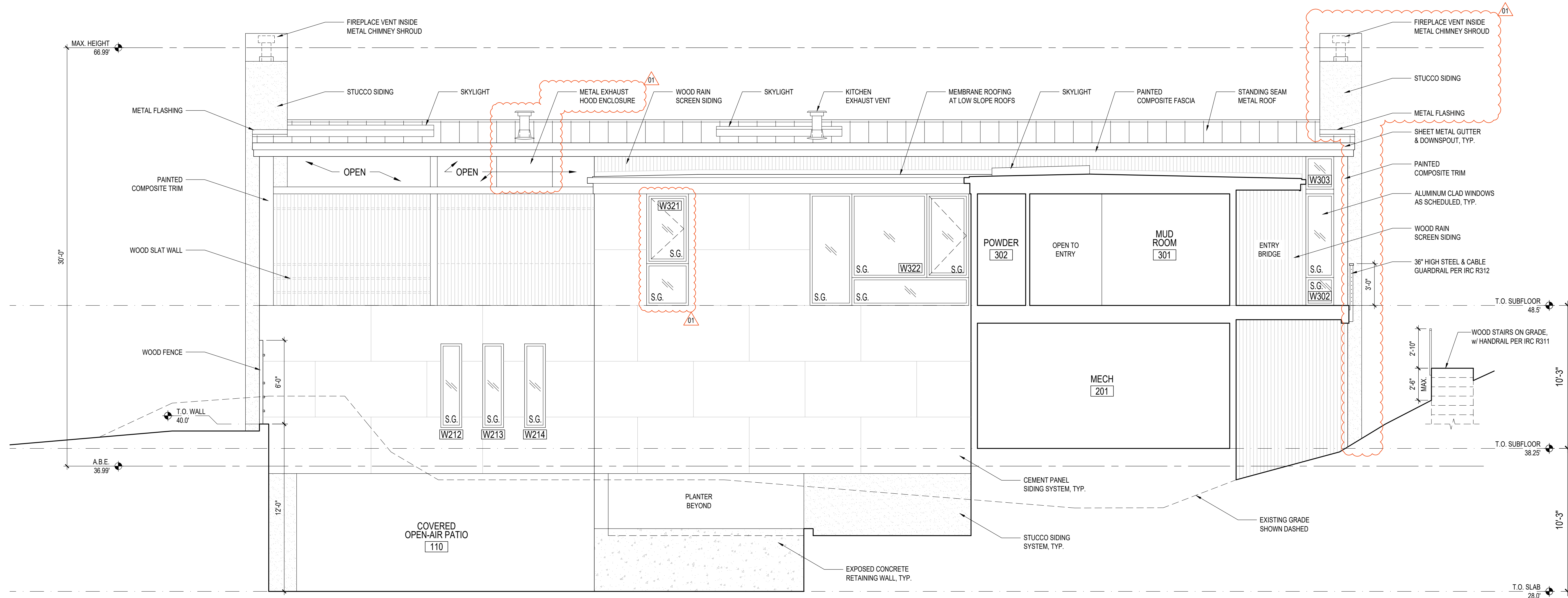
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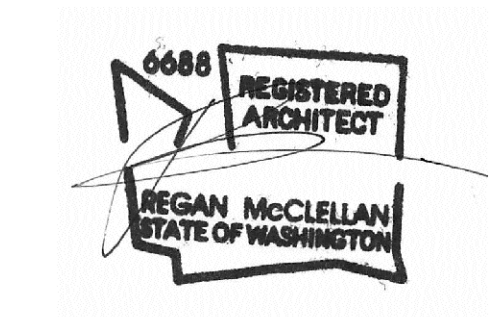
PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS  08.12.2022



1 EAST ELEVATION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET:

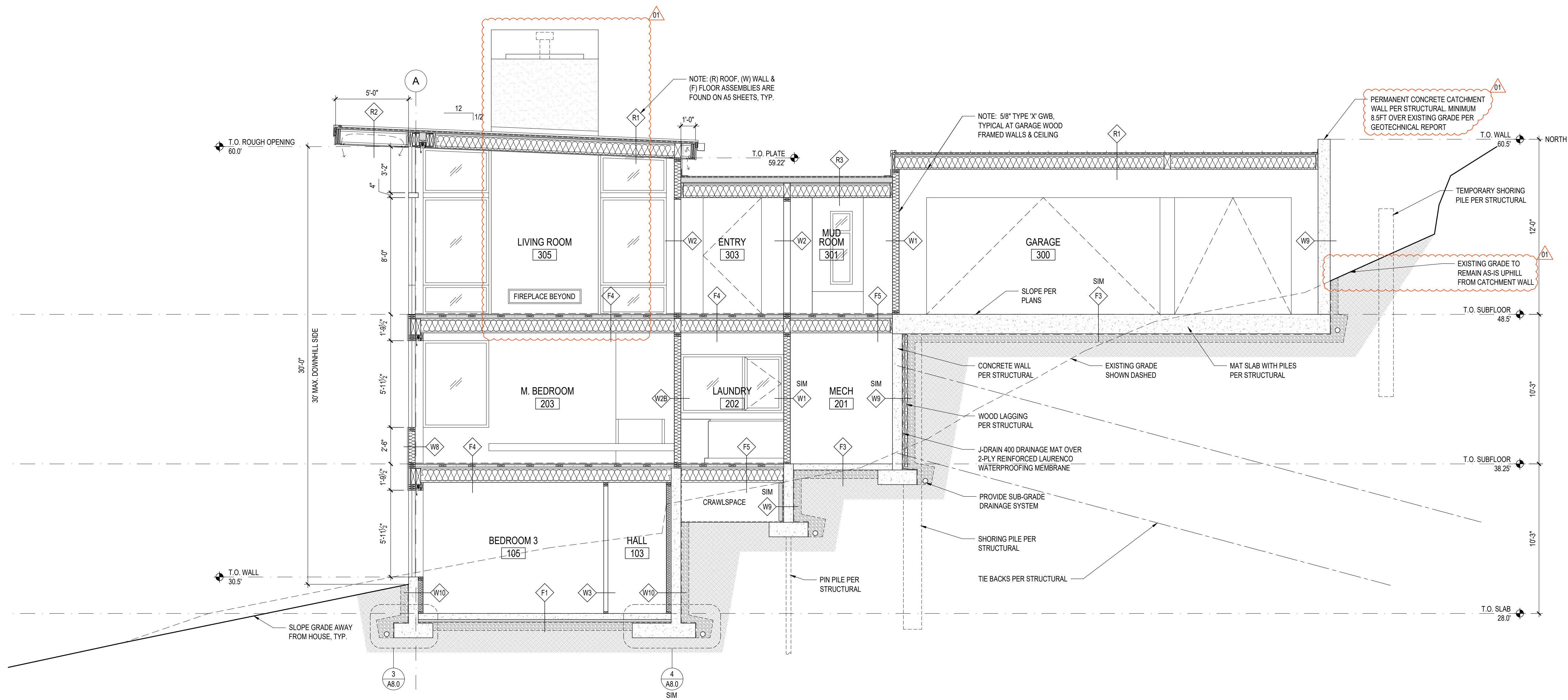
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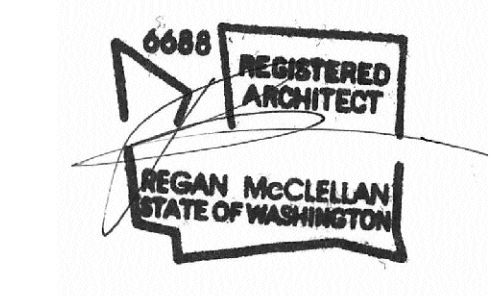
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MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS 1 08.12.2022



1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
BUILDING SECTIONS

SHEET:

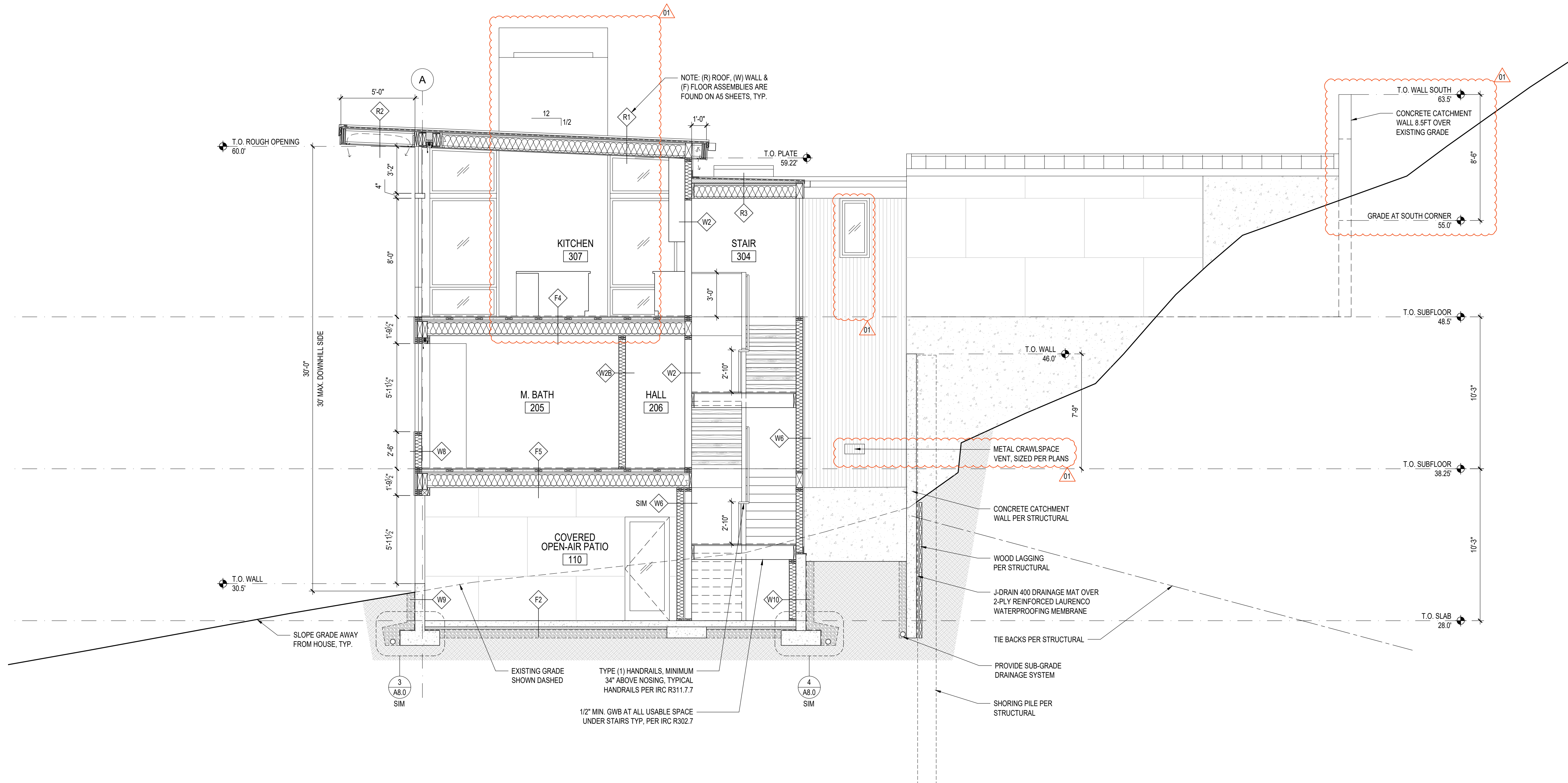
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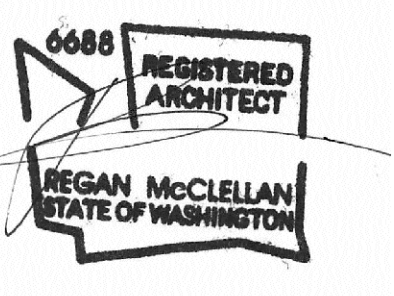
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CLIENT:  
MIST LLC

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1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
BUILDING SECTIONS

SHEET:

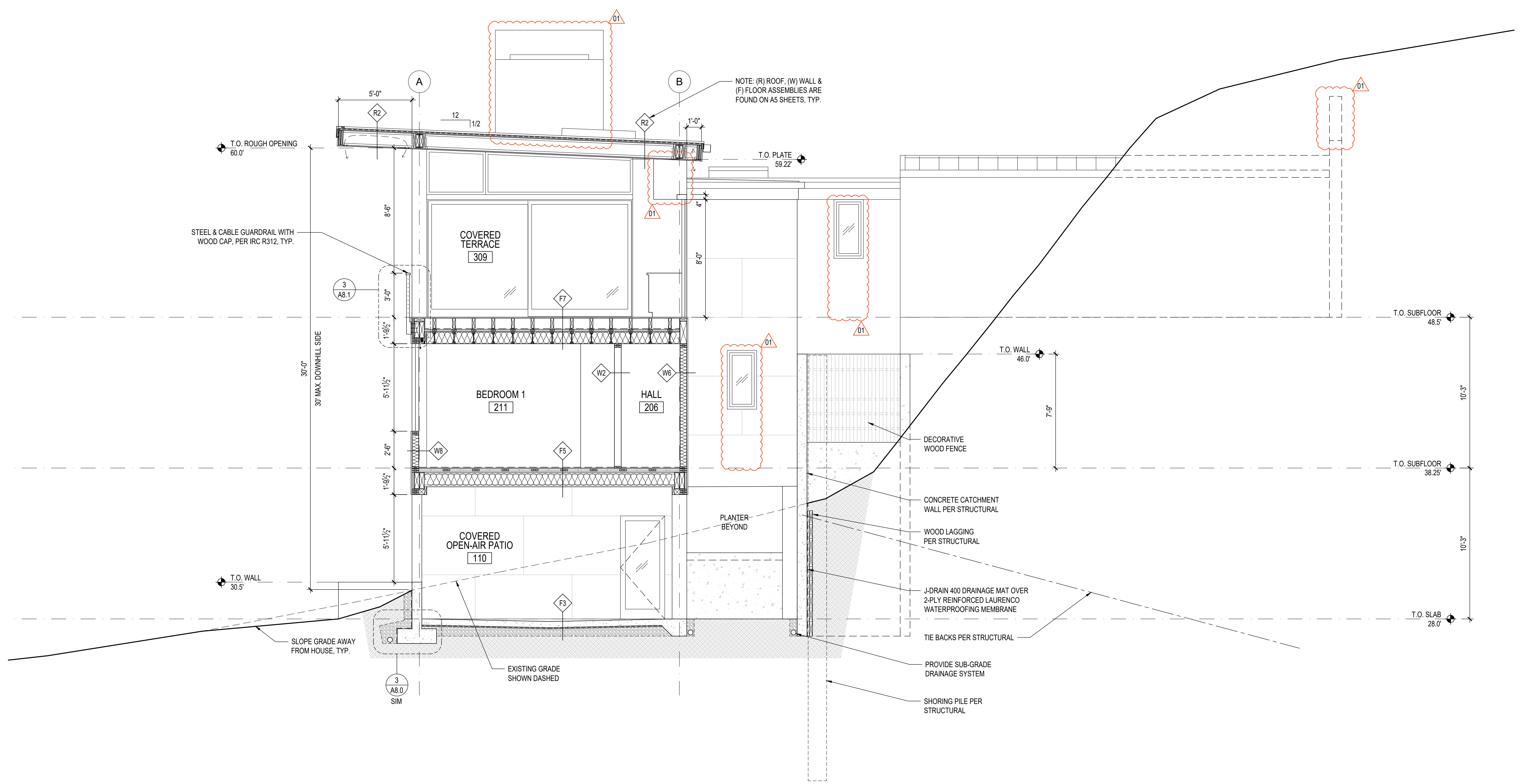
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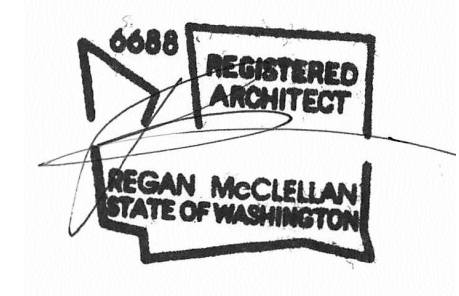
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4045 W MERCER WAY  
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1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
BUILDING SECTIONS

SHEET:

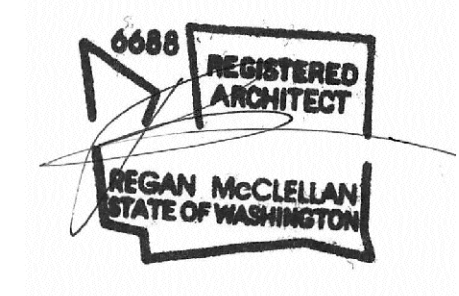
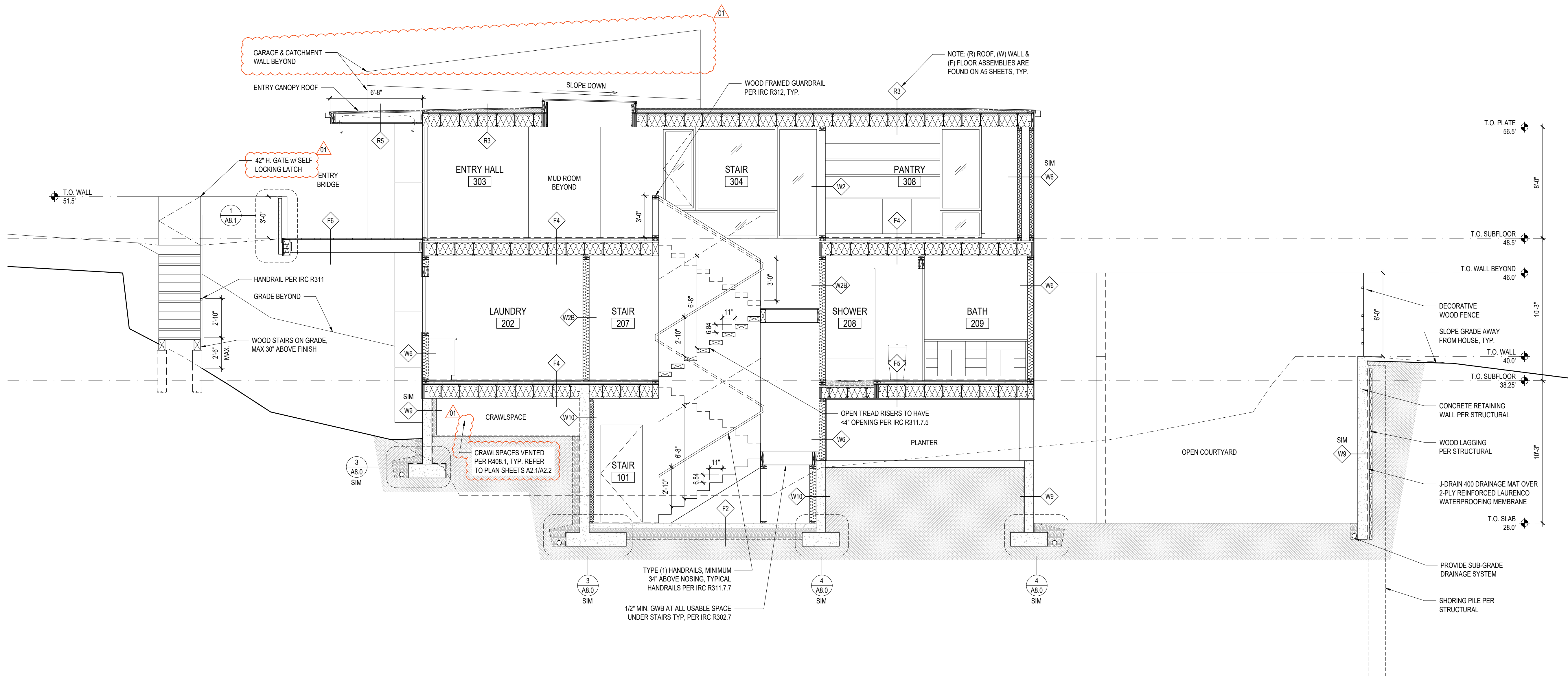
A4.2



PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
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MIST LLC

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DATE:  
FEBRUARY 25, 2022

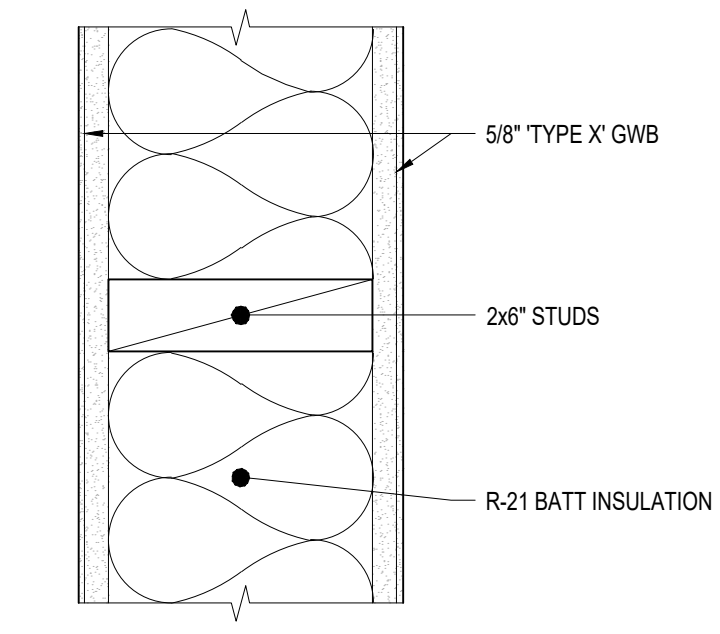
SHEET TITLE:  
BUILDING SECTIONS

SHEET:

1 BUILDING SECTION  
SCALE: 1/4"=1'-0"

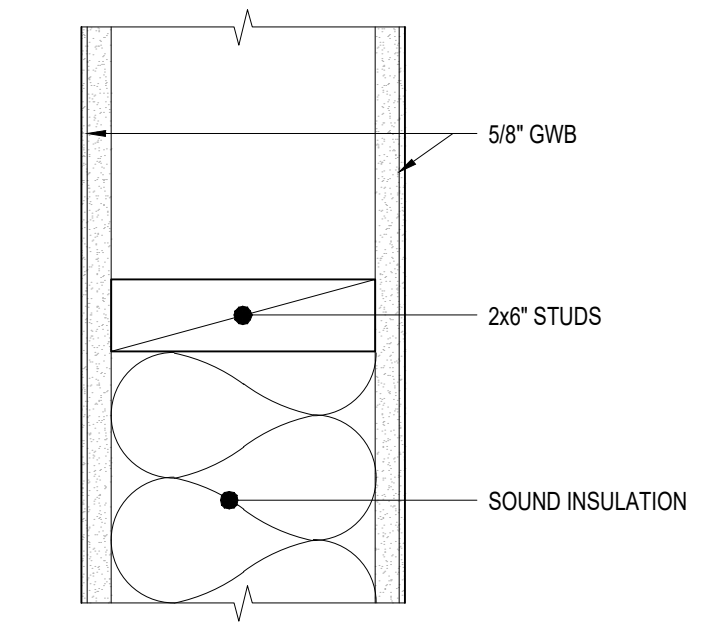
A4.3





W1  
WALL ASSEMBLY:  
2x6 1-HOUR INT. WALL - DRYWALL

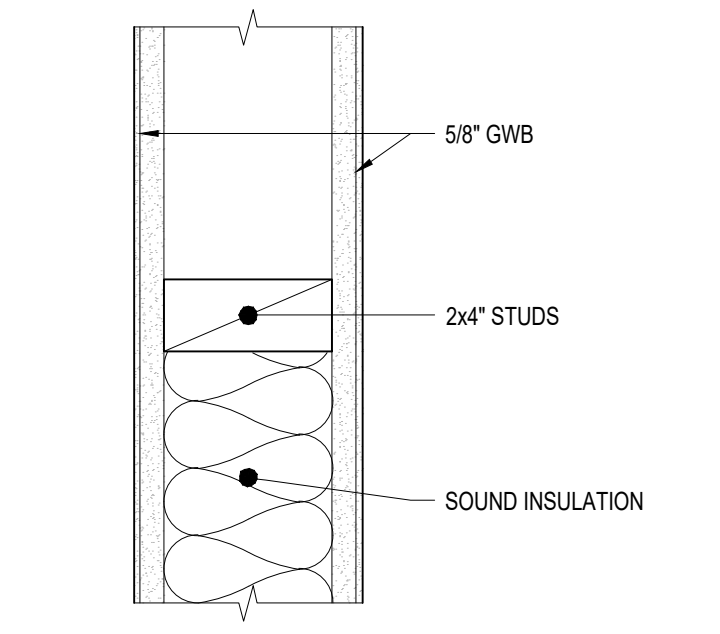
1 INTERIOR WALL ASSEMBLY - W1  
3" = 1'-0"



W2  
WALL ASSEMBLY:  
2x6 INT. WALL - DRYWALL

W2B  
WALL ASSEMBLY:  
2x6 INT. WALL - DRYWALL w/ SOUND INSULATION

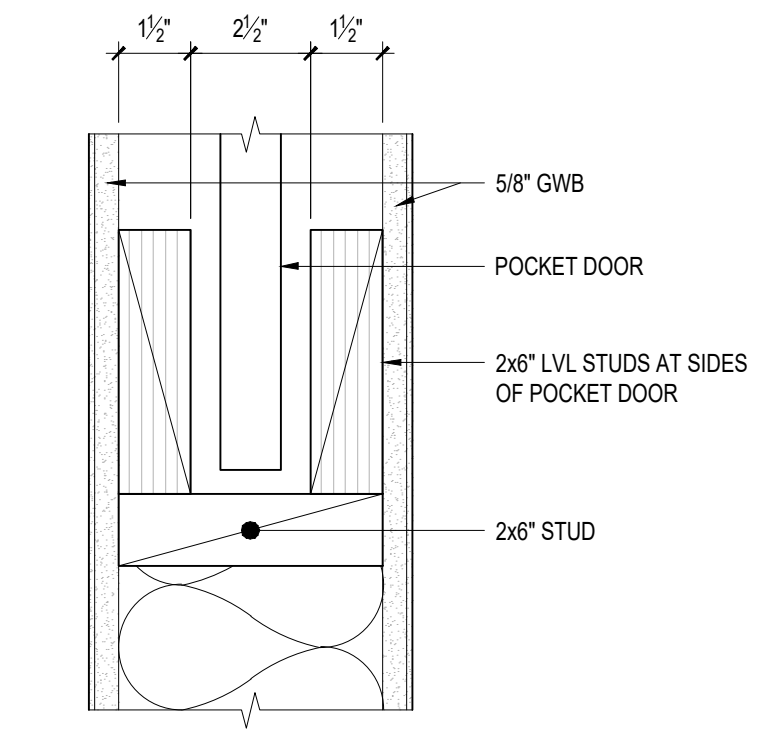
2 INTERIOR WALL ASSEMBLY - W2  
3" = 1'-0"



W3  
WALL ASSEMBLY:  
2x4 INT. WALL - DRYWALL

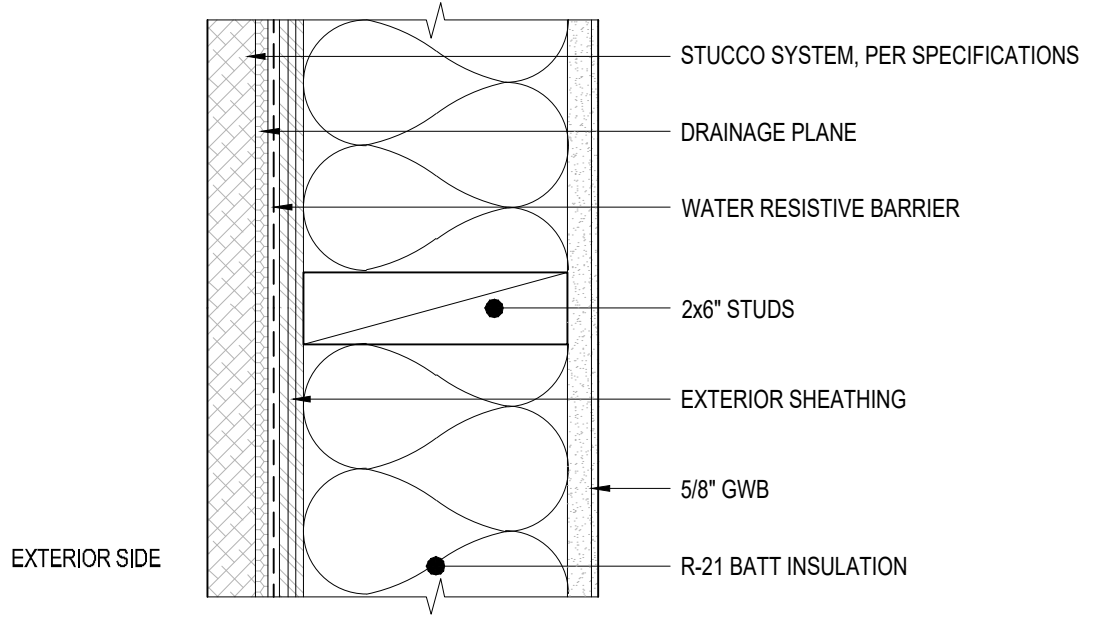
W3B  
WALL ASSEMBLY:  
2x4 INT. WALL - DRYWALL w/ SOUND INSULATION

3 INTERIOR WALL ASSEMBLY - W3  
3" = 1'-0"



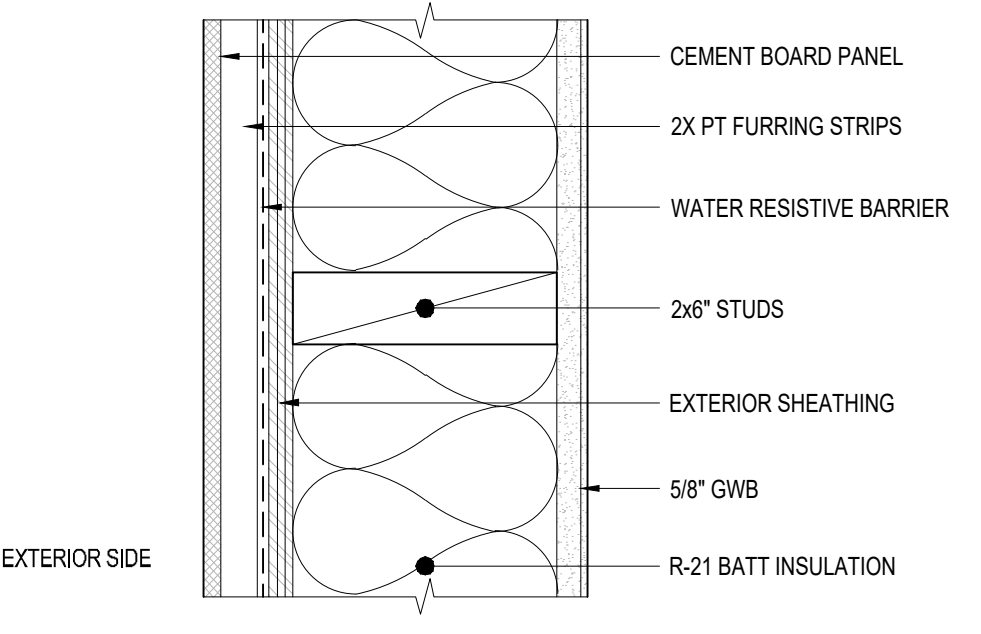
W4  
WALL ASSEMBLY:  
2x6 INT. DOUBLE STUD WALL AT DOOR POCKETS - DRYWALL

4 INTERIOR WALL ASSEMBLY - W4  
3" = 1'-0"



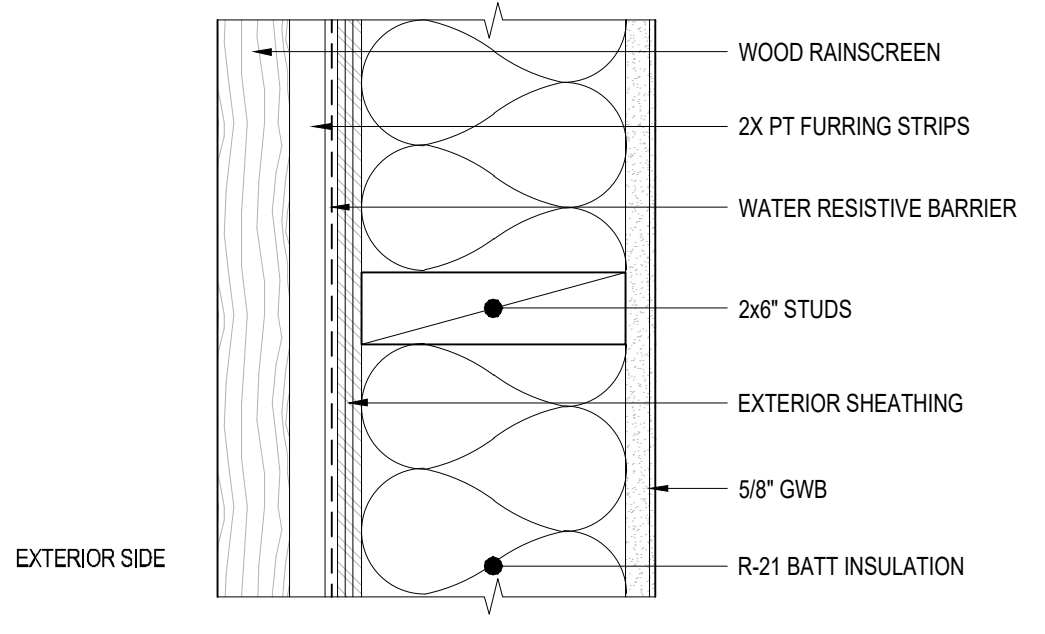
W5  
WALL ASSEMBLY:  
2x6 EXT. WALL - STUCCO w/ INSULATION

5 EXTERIOR WALL ASSEMBLY - W5  
3" = 1'-0"



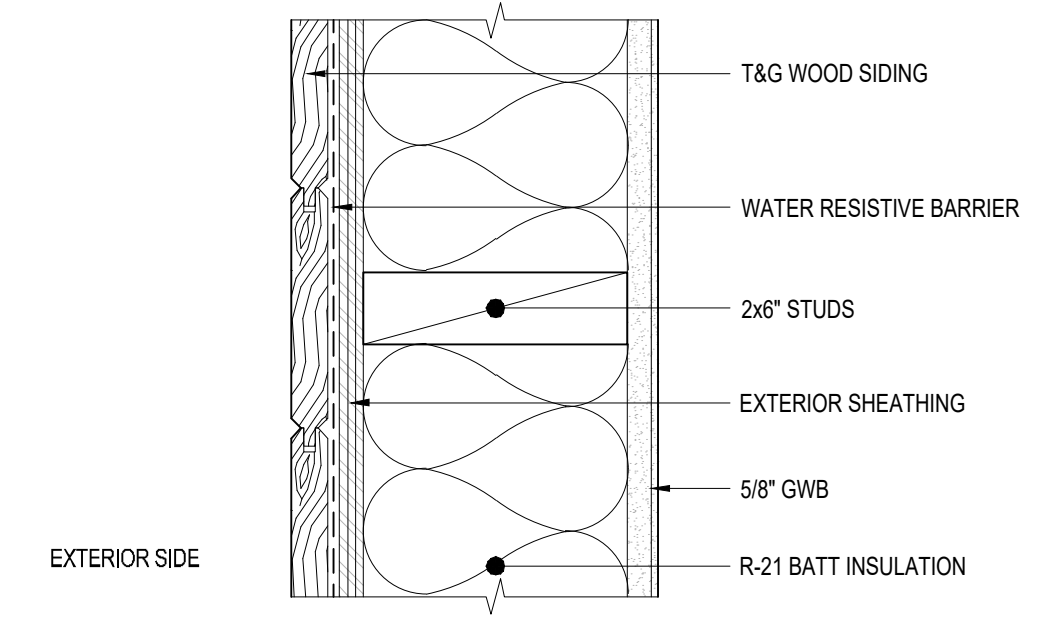
W6  
WALL ASSEMBLY:  
2x6 EXT. WALL - CEMENT BOARD PANEL w/ INSULATION

6 EXTERIOR WALL ASSEMBLY - W6  
3" = 1'-0"



W7  
WALL ASSEMBLY:  
2x6 EXT. WALL - WOOD RAINSCREEN w/ INSULATION

7 EXTERIOR WALL ASSEMBLY - W7  
3" = 1'-0"



W8  
WALL ASSEMBLY:  
2x6 EXT. WALL - WOOD SIDING w/ INSULATION

8 EXTERIOR WALL ASSEMBLY - W8  
3" = 1'-0"

**STUCCO SYSTEM SPECIFICATION:**

- 1) INSTALL STUCCO PER IRC SECTION R703.6
- 2) PROVIDE HOME SLICKER STUCCO DRAINAGE MAT OVER THE VAPOR BARRIER
- 3) PROVIDE CORROSION RESISTANT METAL LATHE
- 4) PROVIDE MIN 1/2" CEMENTITIOUS SCRATCH COAT
- 5) PROVIDE MIN 3/8" CEMENTITIOUS BROWN COAT
- 6) PROVIDE MIN 1/8" ACRYLIC DRYVIT FINISH COAT
- 7) PROVIDE NO. 26 GAGE PLASTIC WEEP SCREED W/ MIN VERTICAL ATTACHMENT FLANGE OF 3-1/2". PLACE A MINIMUM OF 4" ABOVE GRADE. THE SCREED SHALL ALLOW DRAINAGE TO THE EXTERIOR. THE WEATHER RESISTIVE BARRIER AND LATHE SHALL COVER AND TERMINATE AT THE ATTACHMENT FLANGE OF THE WEEP SCREED.

**WATER RESISTIVE BARRIER SPECIFICATION**

- 1) TAMYLN WRAP DRAINABLE HOUSEWRAP, WATER RESISTIVE VAPOR PERMEABLE AIR BARRIER

**BELOW GRADE WATERPROOFING SPECIFICATION**

- 1) PROVIDE AND INSTALL CETCO VOLTEX DS TO BELOW GRADE WALLS FOLLOWED BY A COURSE OF DRAINAGE COMPOSITE AQUADRAIN SHEET DRAINAGE

**SINGLE MEMBRANE ROOFING SPECIFICATION**

- 1) VERSICO VERSIWELD TPO, 80 MIL, FULLY ADHERED ROOFING

**STANDING SEAM METAL ROOFING SPECIFICATION**

- 1) NU-RAY METALS METAL ROOF - SERIES NRM-2000, 16" WIDE, FLAT PAN, 24 GAUGE, FLAT PANEL, VINTAGE

9 PROJECT SPECIFICATIONS  
3" = 1'-0"

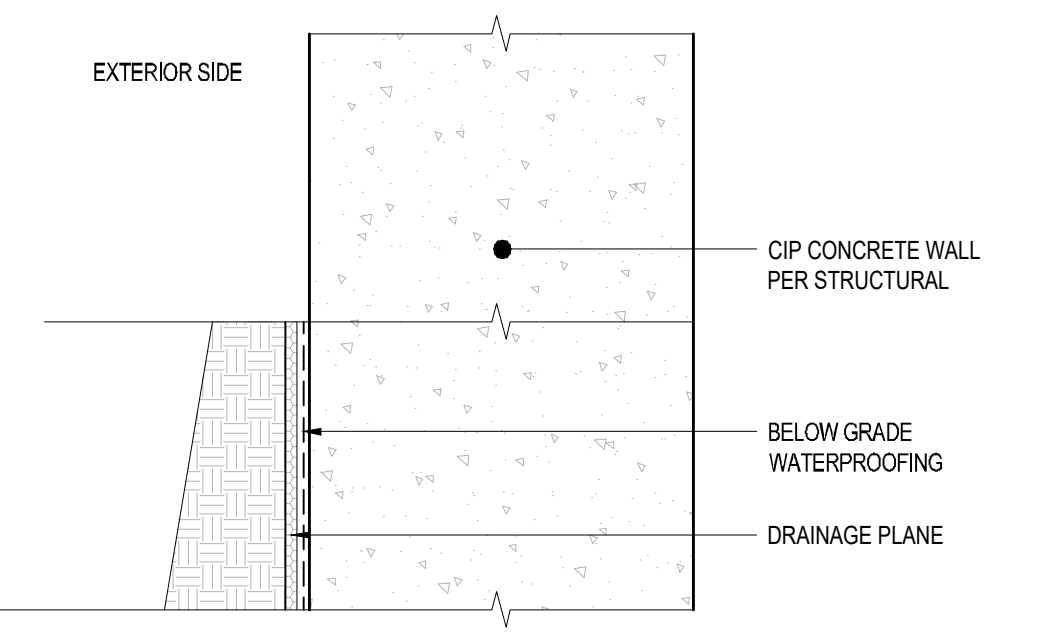
**INSULATION INSTALLATION REQUIREMENTS**

- 1) THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
- 2) NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY
- 3) ANY AIR-IMPERMEABLE INSULATION SHALL BE A VAPOR RETARDER COATING, OR SHALL HAVE A VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION
- 4) AIR IMPERABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT TO THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING

**SPRAY FOAM INSULATION WITH NO VENTILATION SPECIFICATION**

- 1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM INSULATION
- 2) ICC-ES EVALUATION REPORT # ESR-3210
- 3) INSULATION MUST BE APPLIED BY CERTIFIED INSTALLERS. A COPY OF THE INSTALLERS CERTIFICATION MUST BE ON SITE FOR FIELD INSPECTOR VERIFICATION.

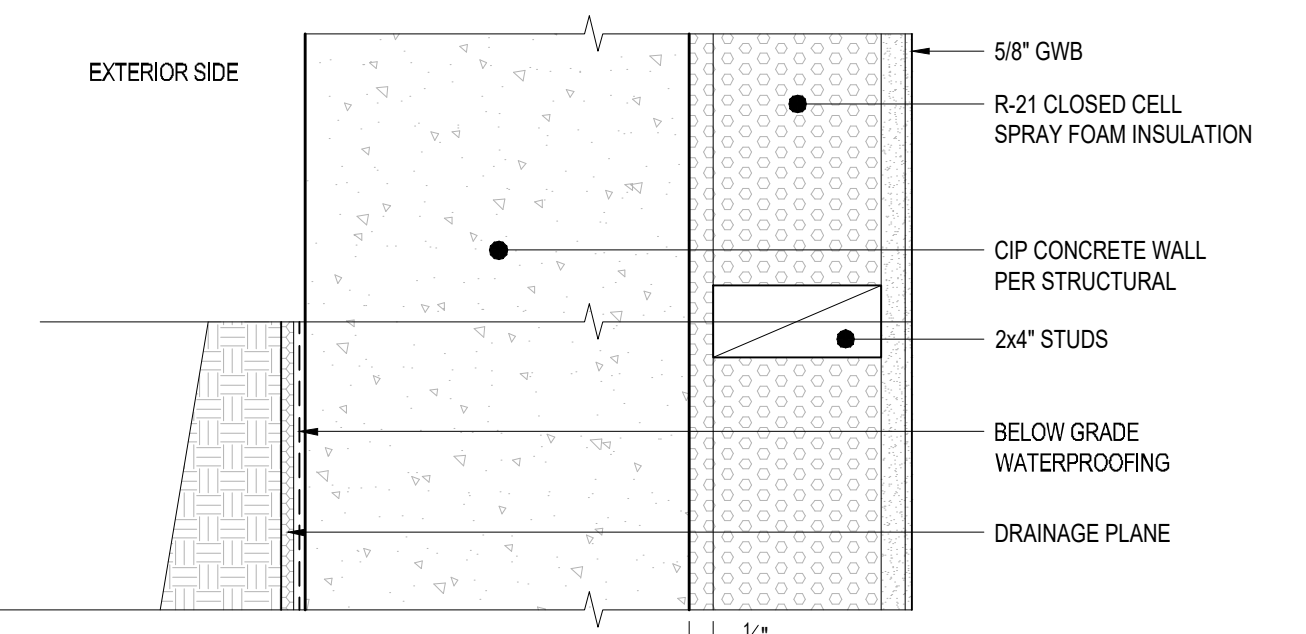
10 PROJECT SPECIFICATIONS CONT.  
3" = 1'-0"



W9  
WALL ASSEMBLY (ABOVE GRADE):  
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH

W9B  
WALL ASSEMBLY (BELOW GRADE):  
CONCRETE RETAINING WALL EXPOSED

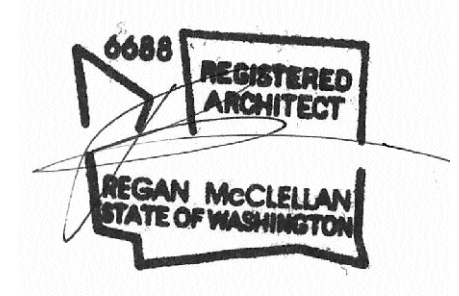
11 EXTERIOR WALL ASSEMBLY - W9  
3" = 1'-0"



W10  
WALL ASSEMBLY (ABOVE GRADE):  
CONCRETE WALL - EXT. BOARD FORM CONCRETE FINISH w/ INT. 2x4 STUD FURRING & INSUL.

W10B  
WALL ASSEMBLY (BELOW GRADE):  
CONCRETE RETAINING WALL - INT. 2x4 STUD FURRING & INSUL.

12 EXTERIOR WALL ASSEMBLY - W10  
3" = 1'-0"

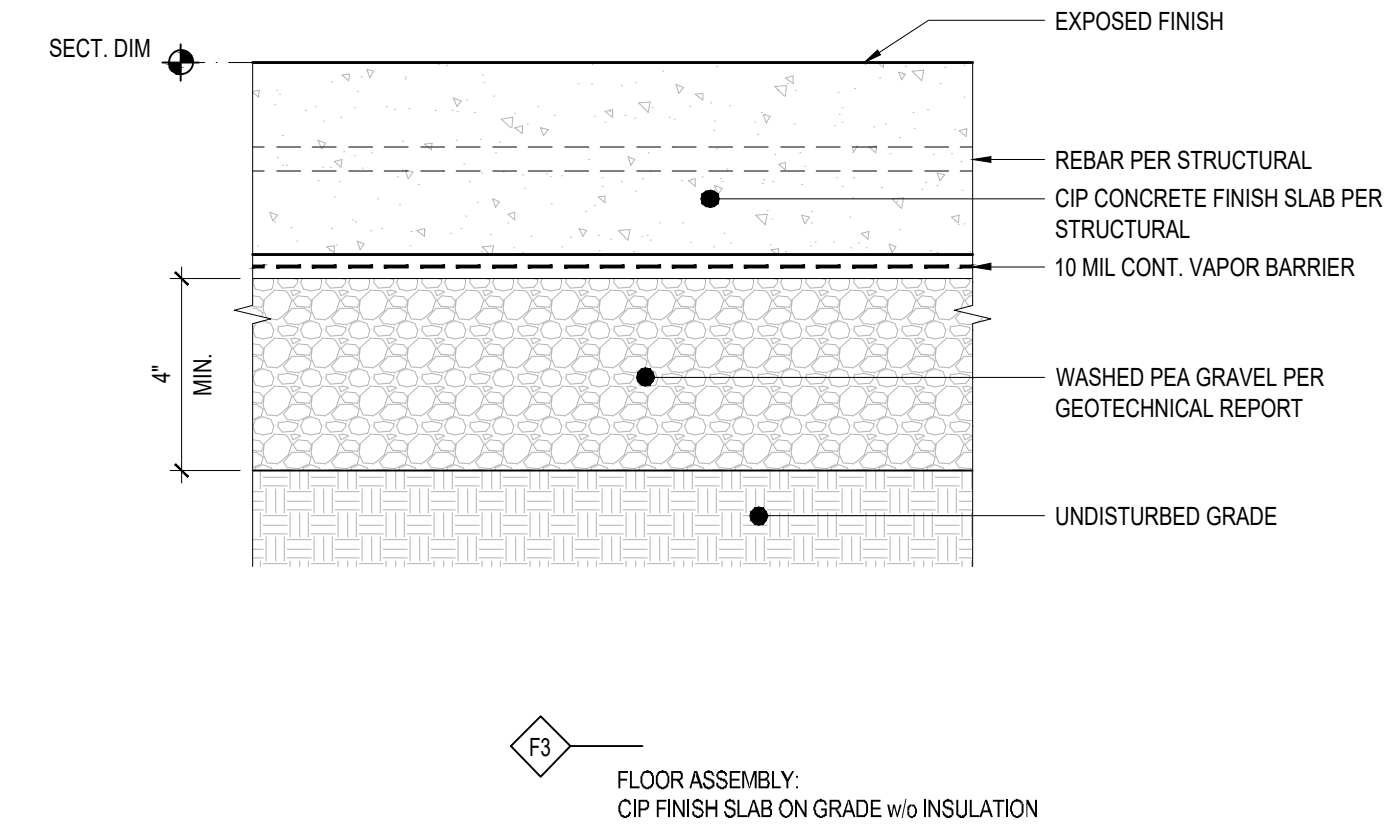
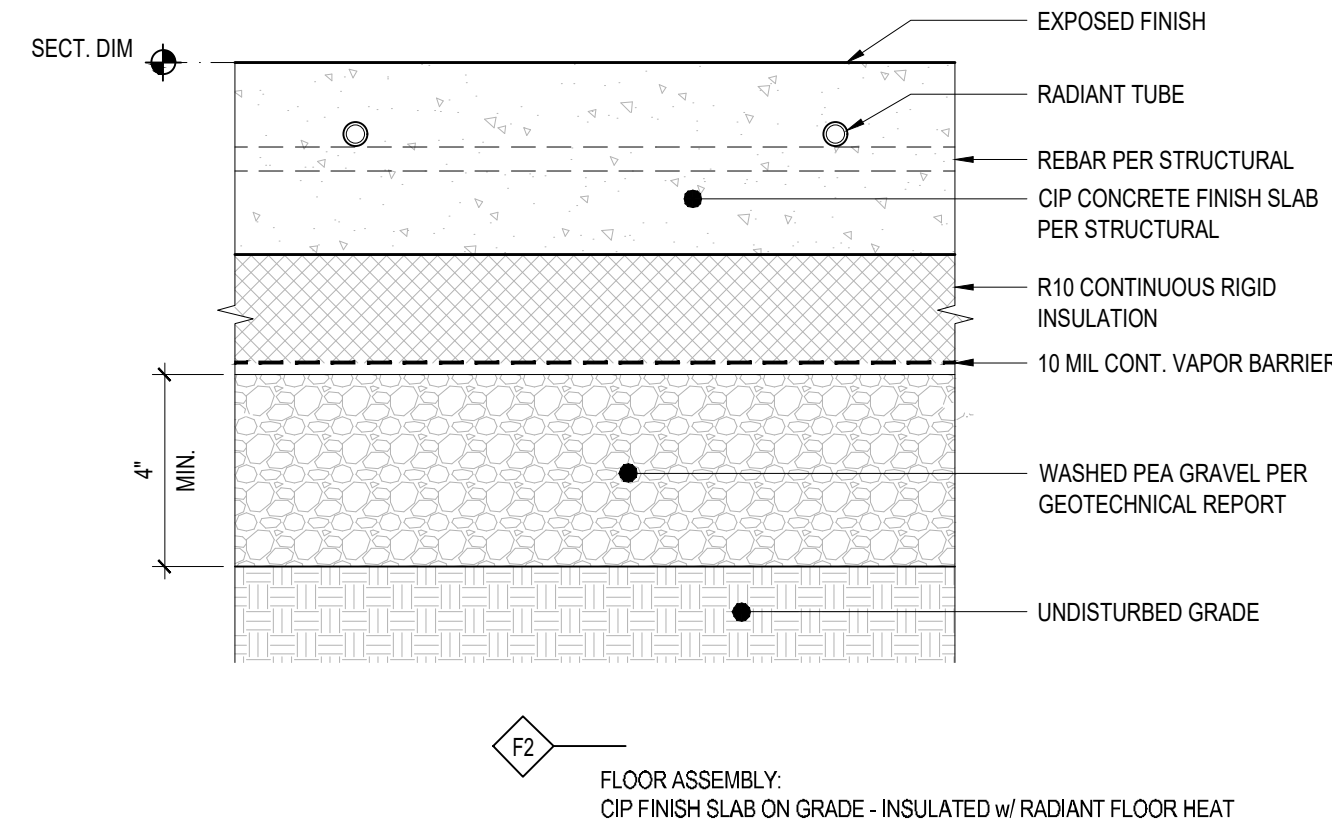
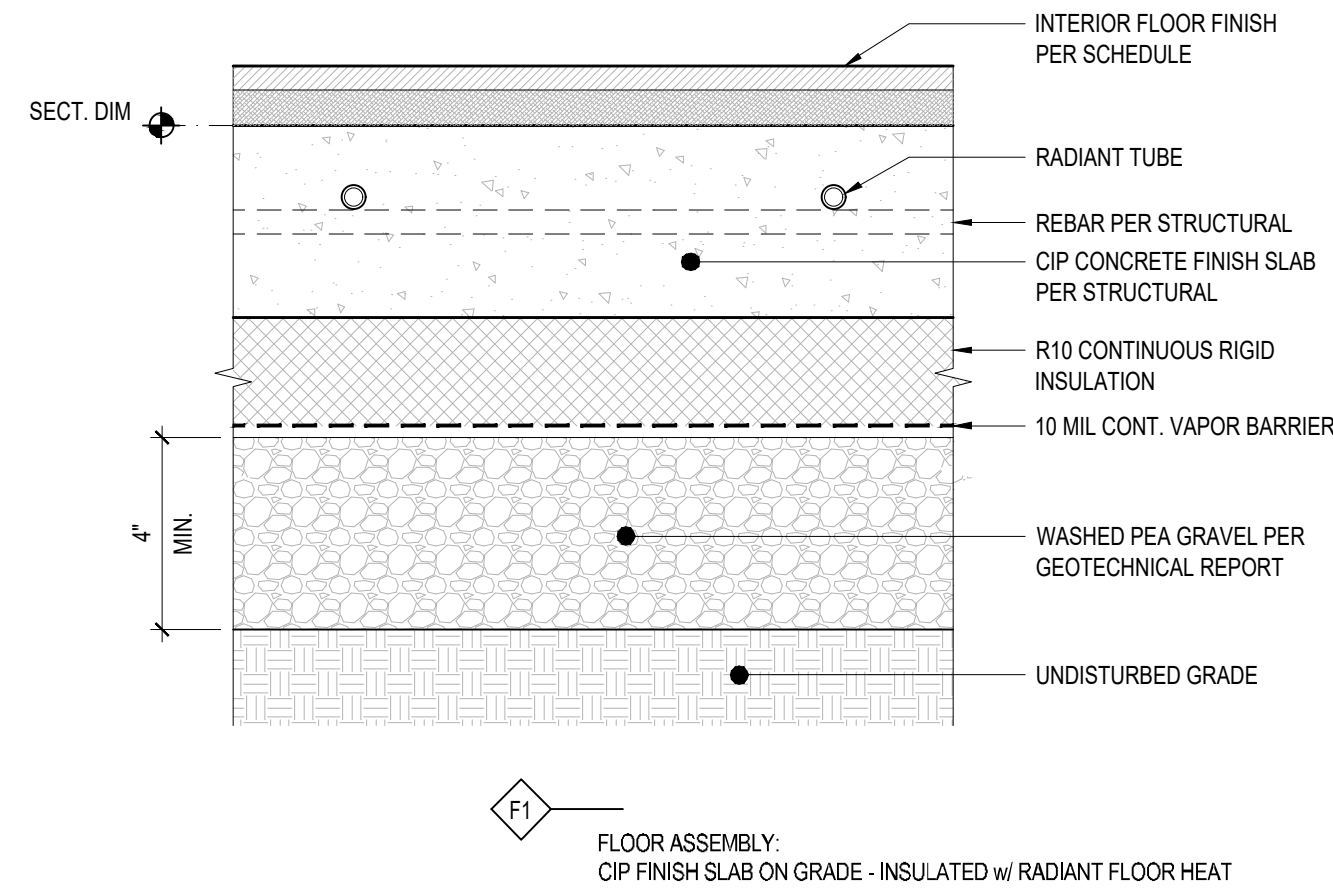


DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
WALL ASSEMBLIES

SHEET:



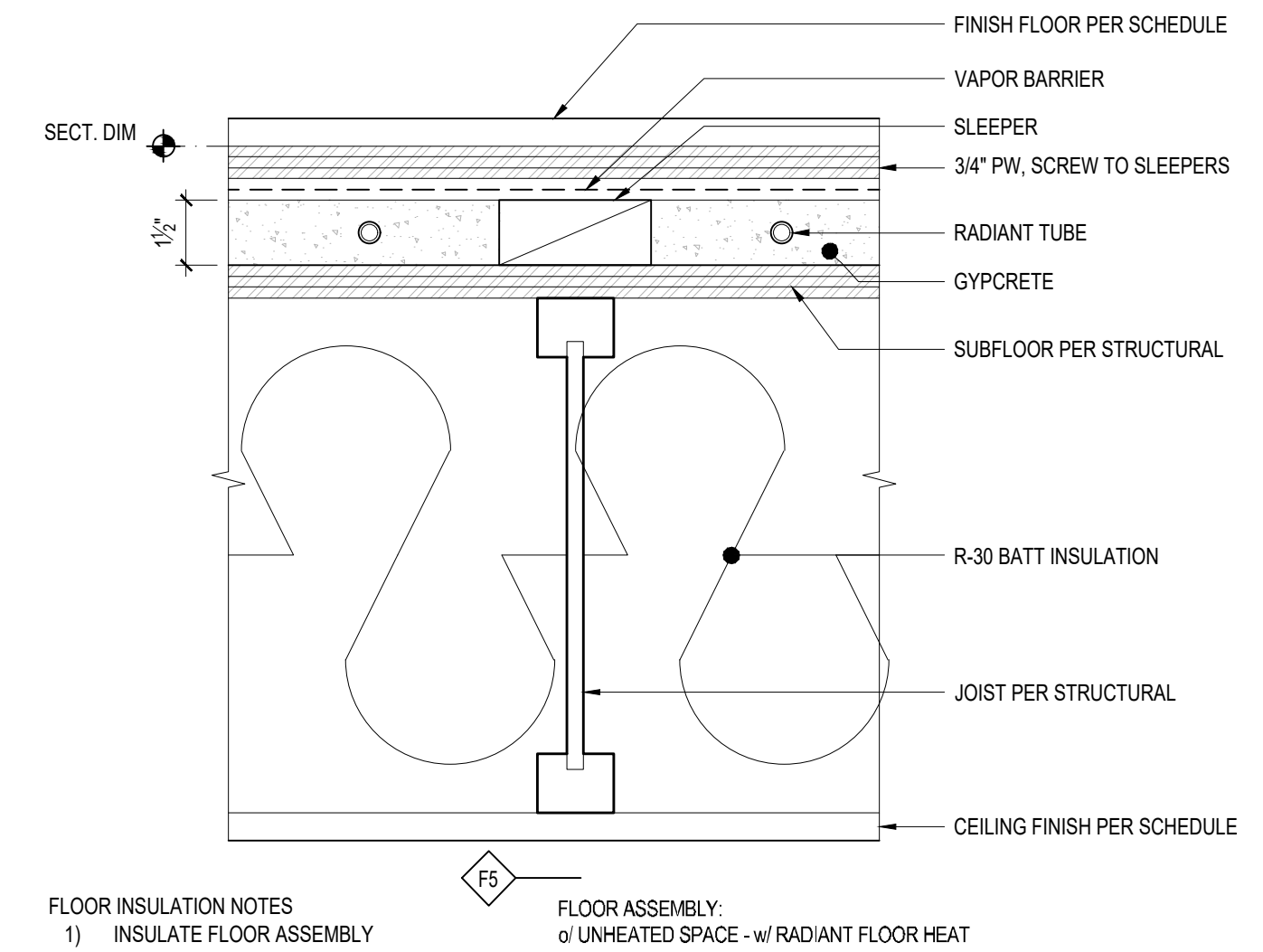
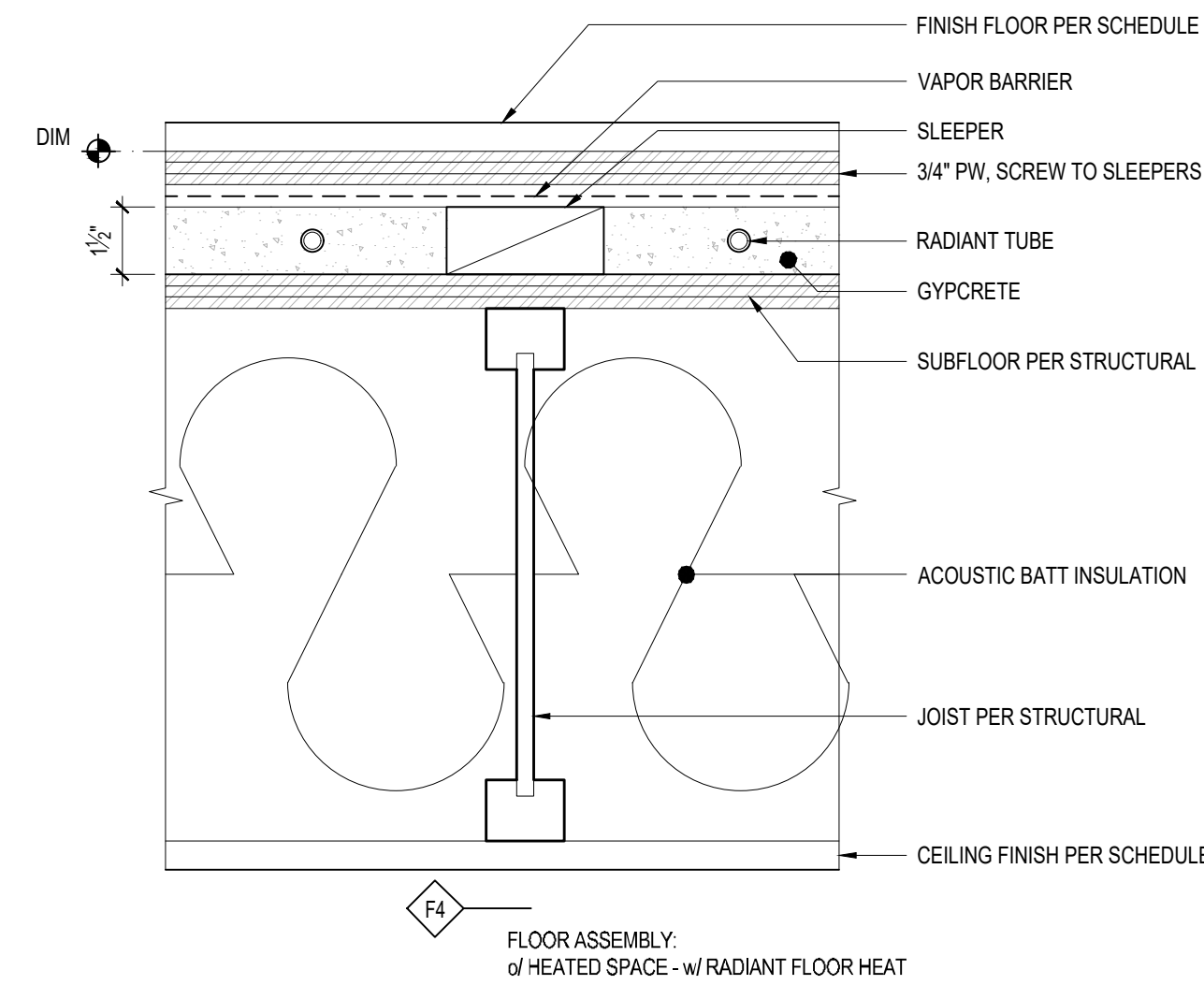


1 NOT USED  
3" = 1'-0"

2 FLOOR ASSEMBLY - F1  
3" = 1'-0"

3 FLOOR ASSEMBLY - F2  
3" = 1'-0"

4 FLOOR ASSEMBLY - F3  
3" = 1'-0"



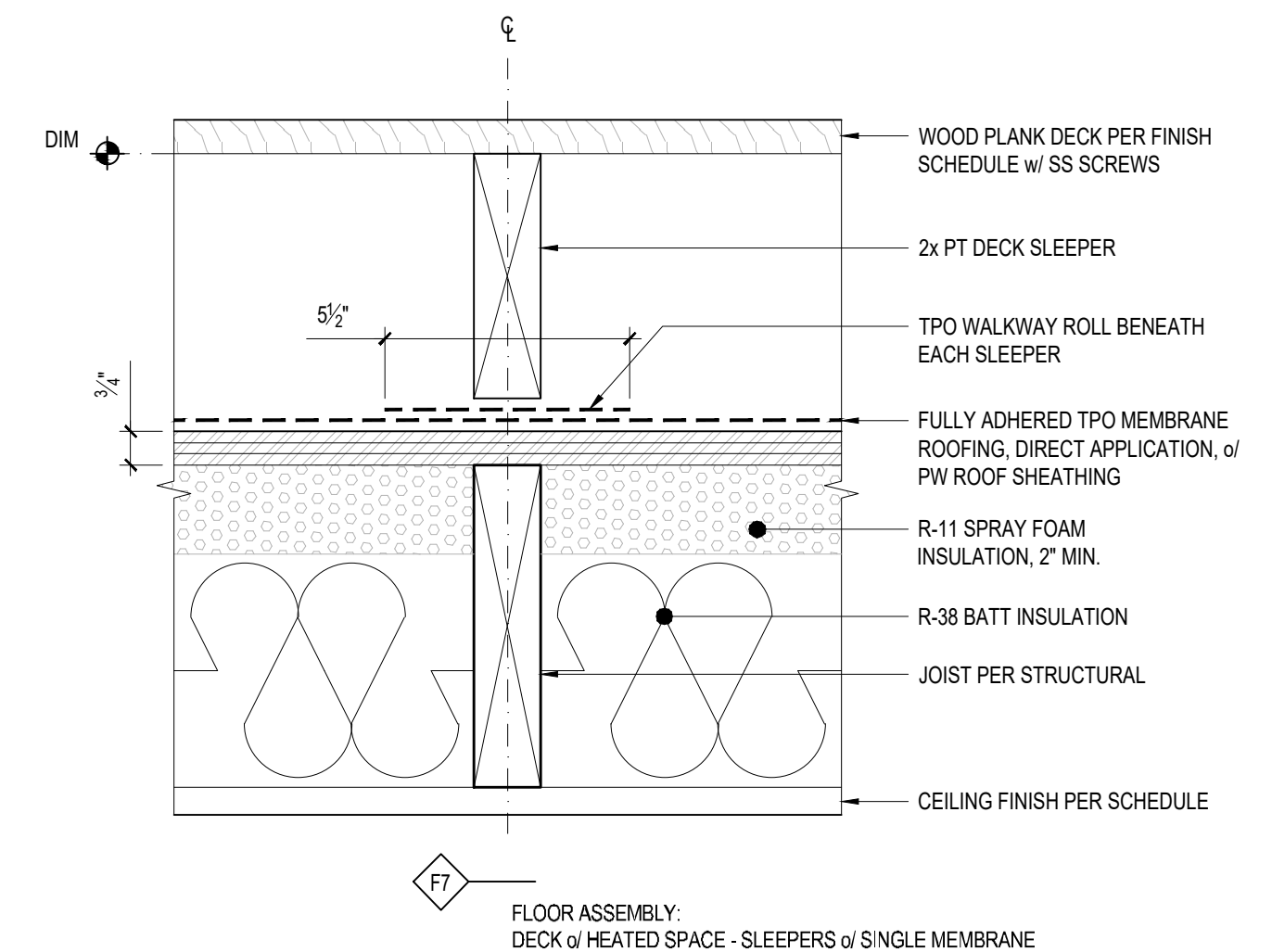
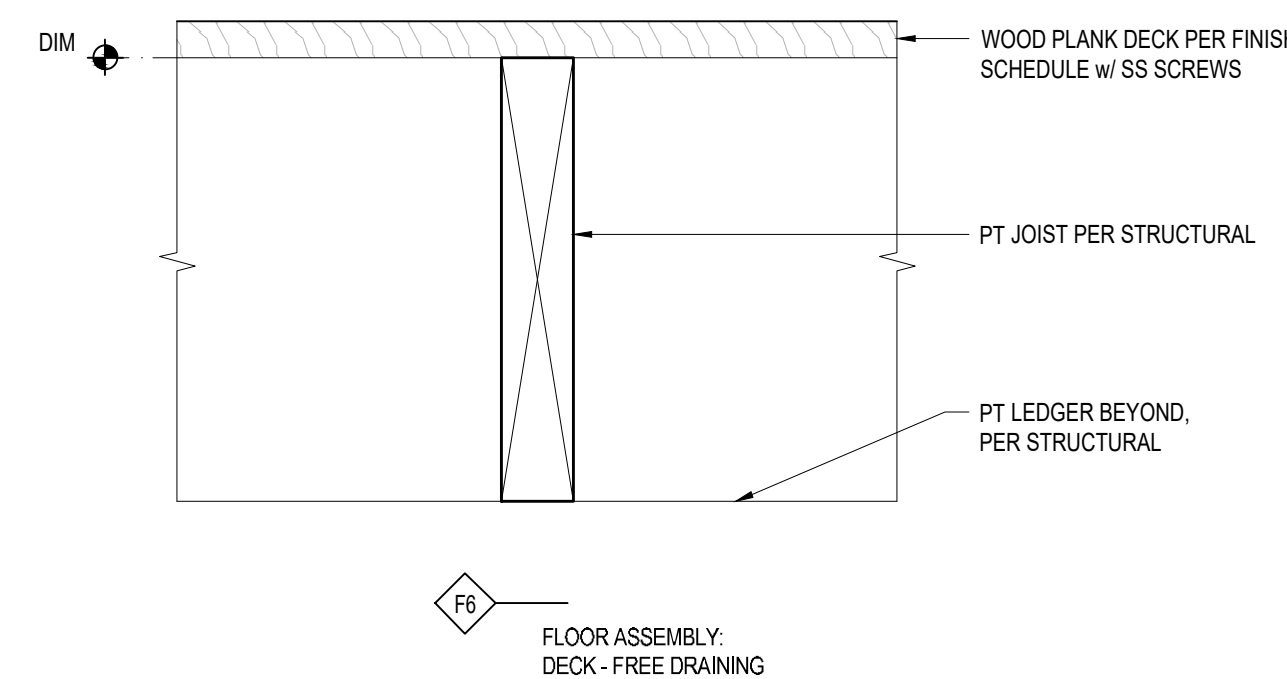
FLOOR INSULATION NOTES  
1) INSULATE FLOOR ASSEMBLY OVER COVERED PATIO - F5  
2) SOUND BATT INSULATION ONLY ELSEWHERE - F4

5 NOT USED  
3" = 1'-0"

6 NOT USED  
3" = 1'-0"

7 FLOOR ASSEMBLY - F4  
3" = 1'-0"

8 FLOOR ASSEMBLY - F5  
3" = 1'-0"

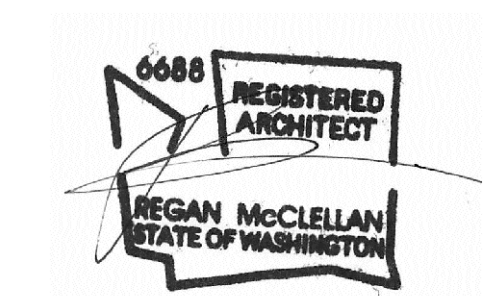


9 NOT USED  
3" = 1'-0"

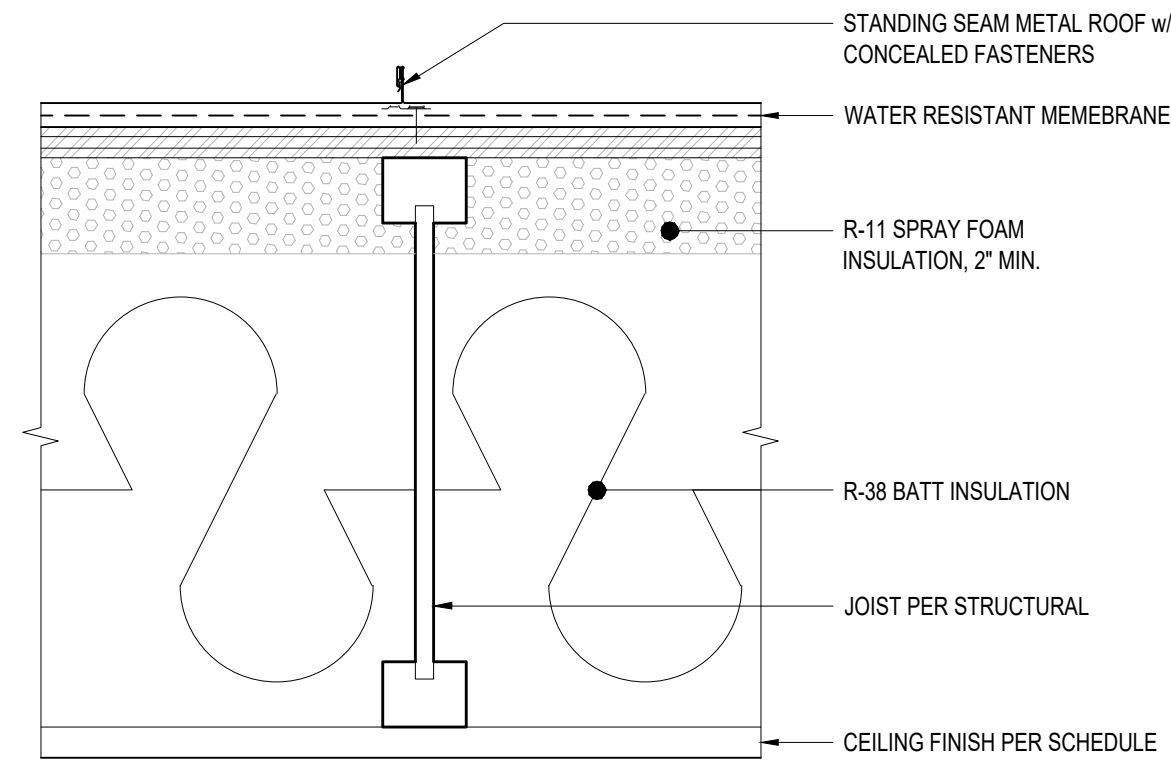
10 NOT USED  
3" = 1'-0"

11 FLOOR ASSEMBLY - F6  
3" = 1'-0"

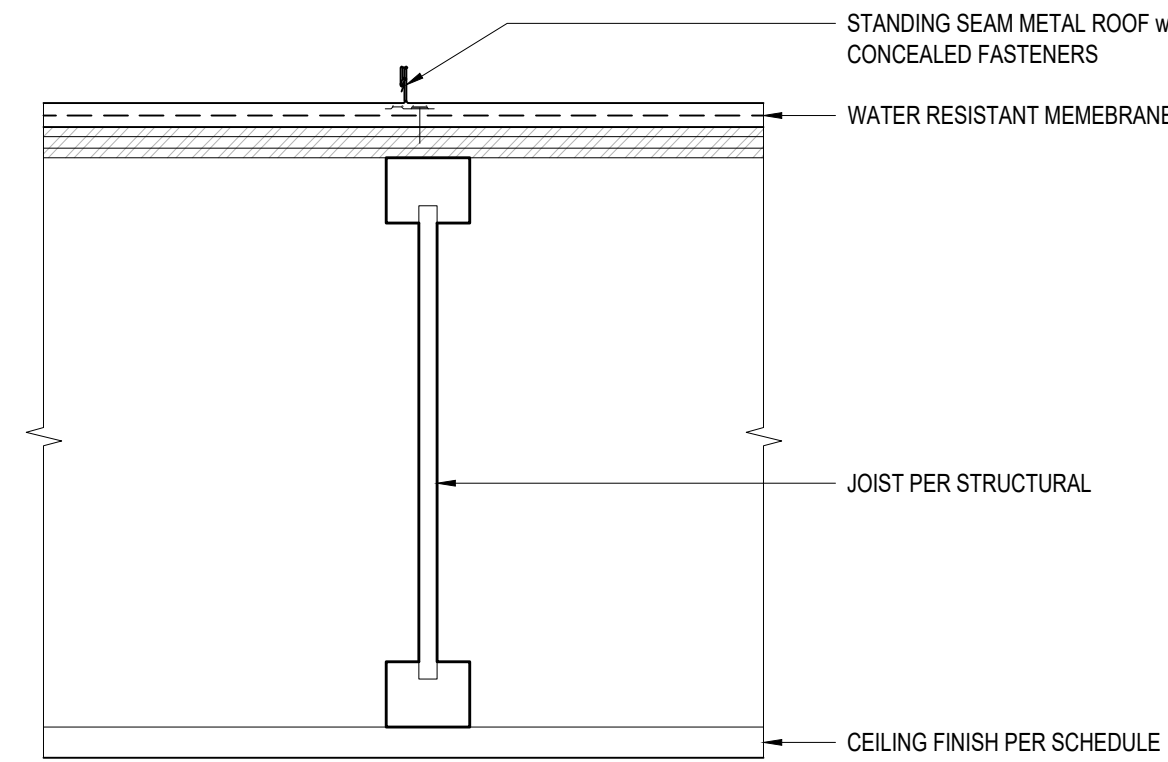
12 FLOOR ASSEMBLY - F7  
3" = 1'-0"



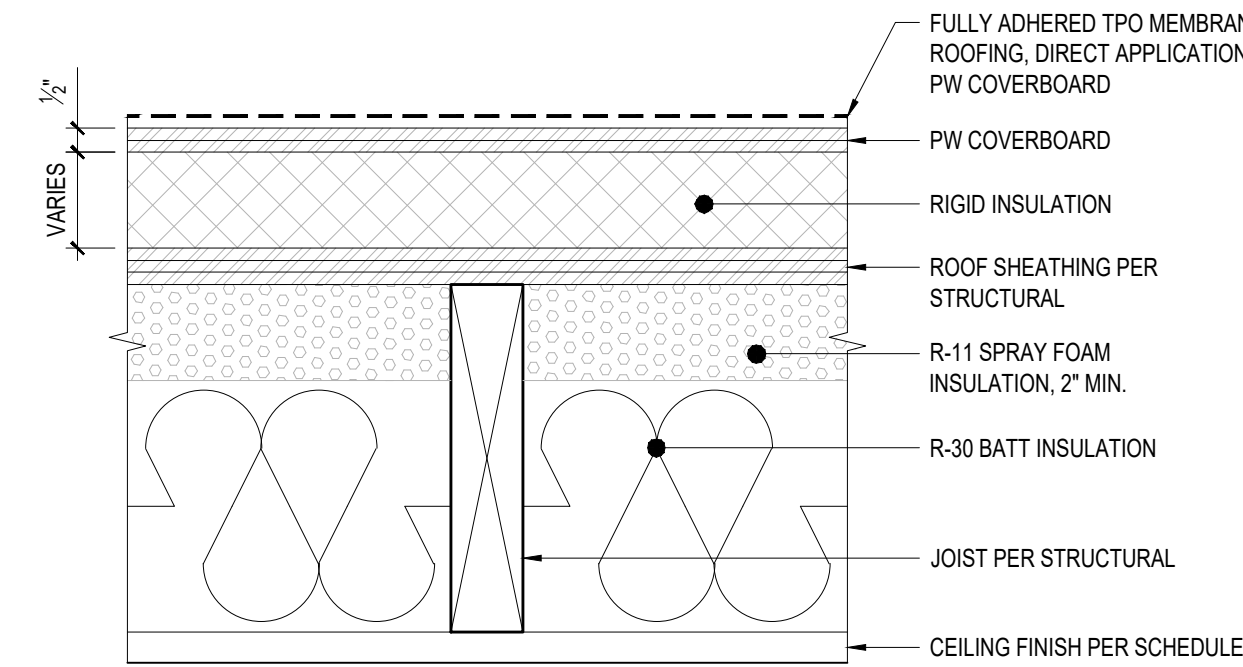




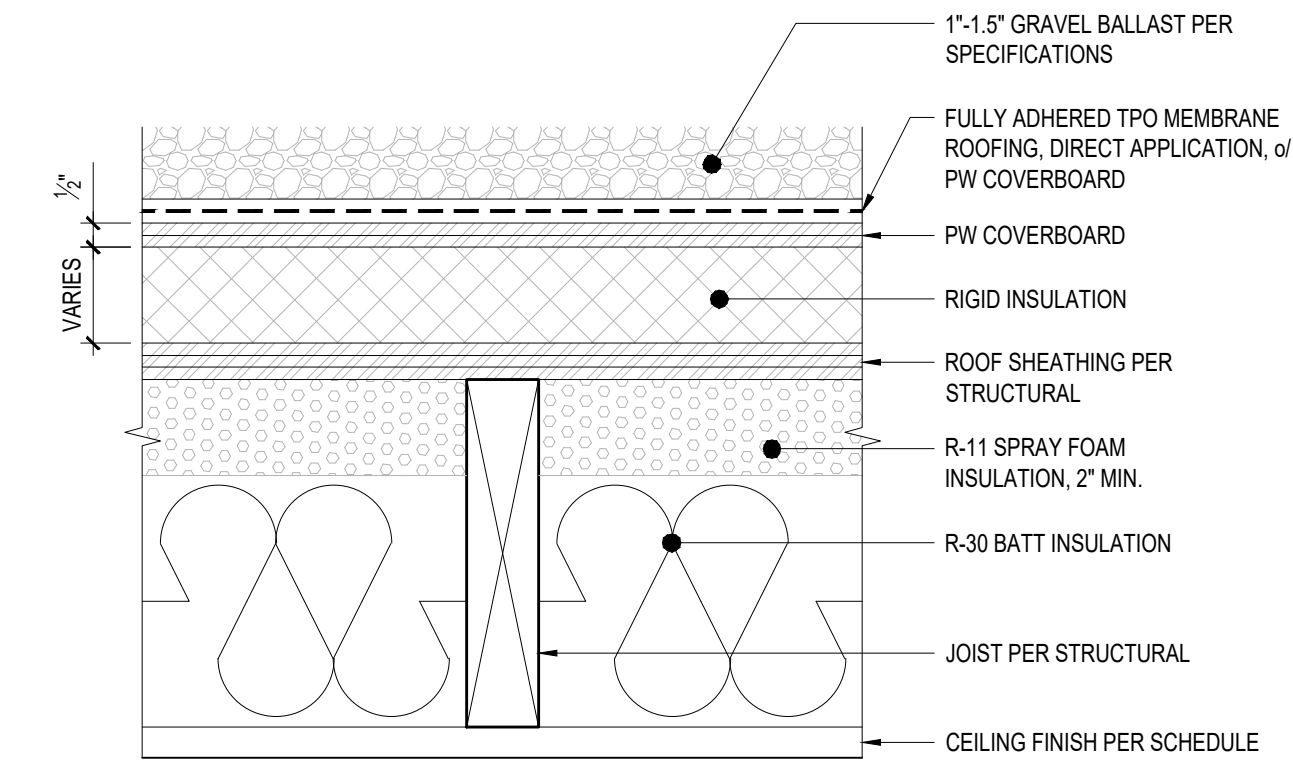
**R1**  
ROOF ASSEMBLY:  
STANDING SEAM METAL ROOF - INSULATED w/o VENTILATION



**R2**  
ROOF ASSEMBLY:  
STANDING SEAM METAL ROOF - VENTILATED w/o INSULATION



**R3**  
ROOF ASSEMBLY:  
SINGLE MEMBRANE w/ HEATED SPACE



**R4**  
ROOF ASSEMBLY:  
SINGLE MEMBRANE w/ ROCK BALLAST w/ HEATED SPACE

SPRAY FOAM INSULATION w/ NO VENTILATION  
SPECIFICATION  
1) PRODUCT: SPRAY-APPLIED POLYURETHANE FOAM  
INSULATION  
2) ICC-ES EVALUATION REPORT # ESR-3210  
3) INSULATION MUST BE APPLIED BY CERTIFIED  
INSTALLERS. A COPY OF THE INSTALLERS  
CERTIFICATION MUST BE ON SITE FOR FIELD  
INSPECTOR VERIFICATION

**1** ROOF ASSEMBLY - R1  
3" = 1'-0"

**2** ROOF ASSEMBLY - R2  
3" = 1'-0"

**3** ROOF ASSEMBLY - R3  
3" = 1'-0"

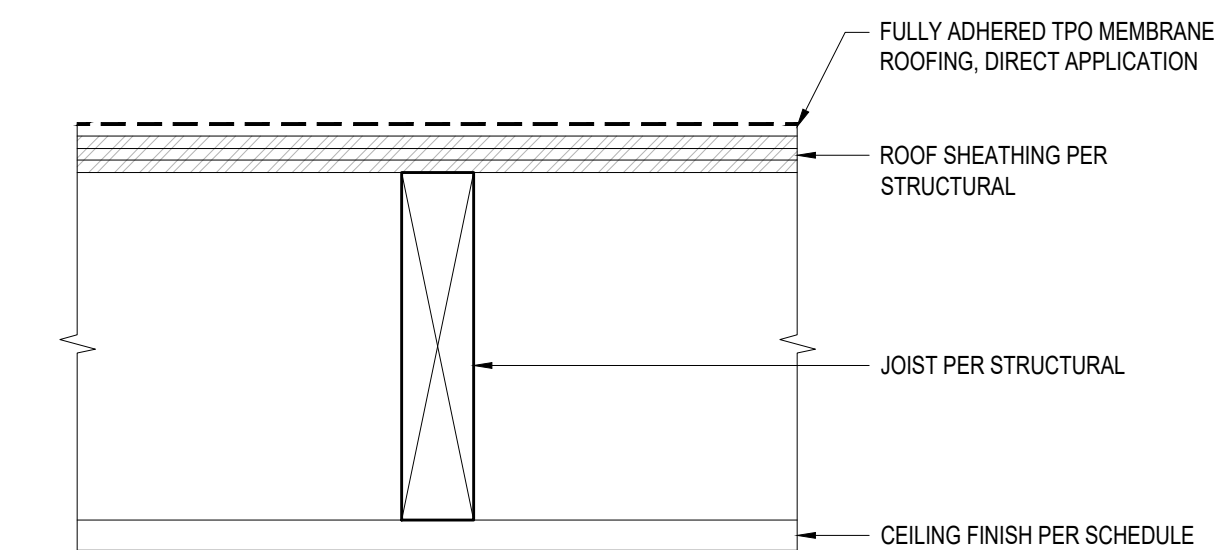
**4** ROOF ASSEMBLY - R4  
3" = 1'-0"

**5** NOT USED  
3" = 1'-0"

**6** NOT USED  
3" = 1'-0"

**7** NOT USED  
3" = 1'-0"

**8** ROOF ASSEMBLY - R5  
3" = 1'-0"



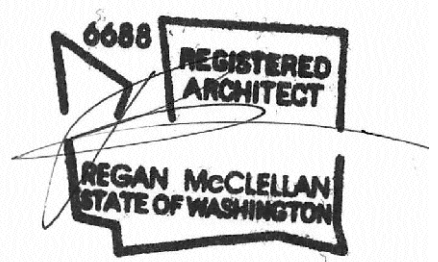
**R5**  
ROOF ASSEMBLY:  
SINGLE MEMBRANE w/o INSULATION

**9** NOT USED  
3" = 1'-0"

**10** NOT USED  
3" = 1'-0"

**11** NOT USED  
3" = 1'-0"

**12** NOT USED  
3" = 1'-0"



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
ROOF ASSEMBLIES

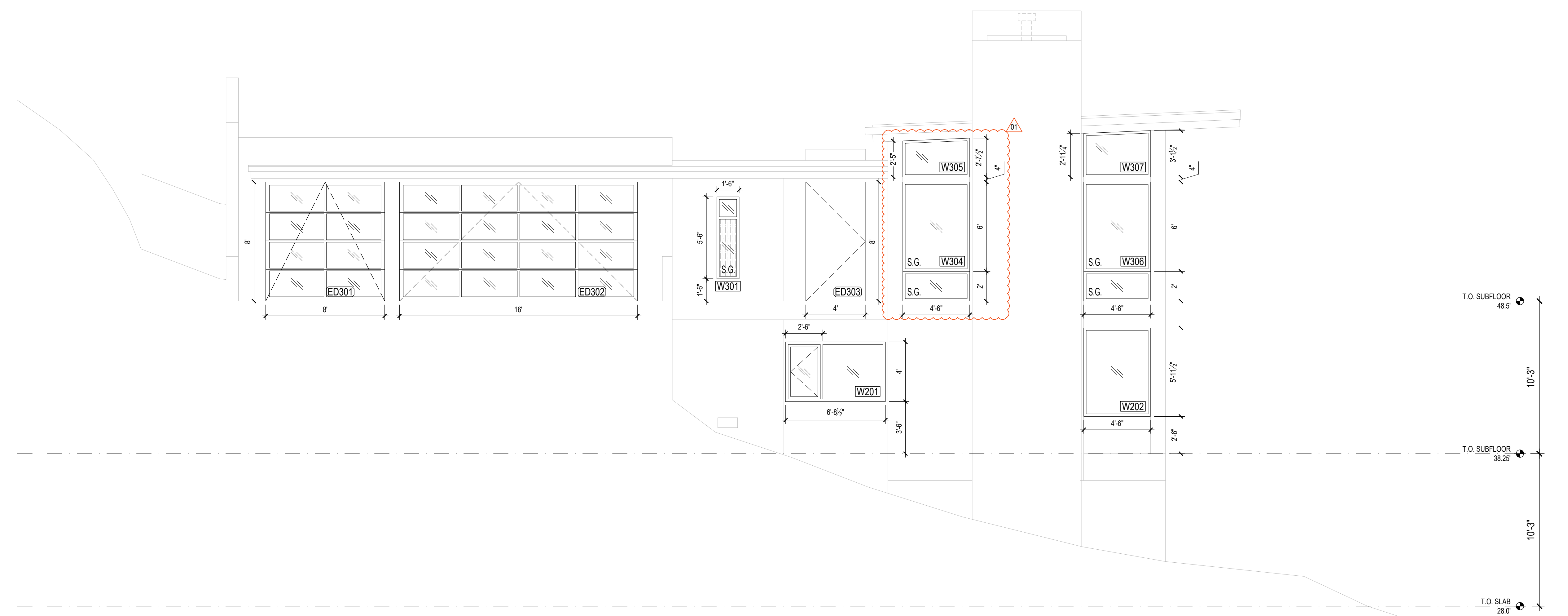
SHEET:



PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

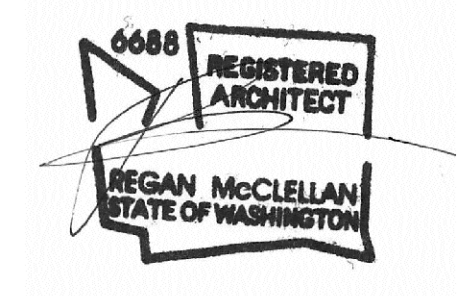
CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS <sup>1</sup> 08.12.2022



1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
1.	ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
2.	WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
3.	SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
4.	ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
5.	CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
6.	CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
7.	THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
WINDOW KEY:	
S.G.	- SAFETY GLASS; TEMPERED
	- OBSCURE GLASS; FROSTED



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
OPENING SCHEDULE

SHEET:

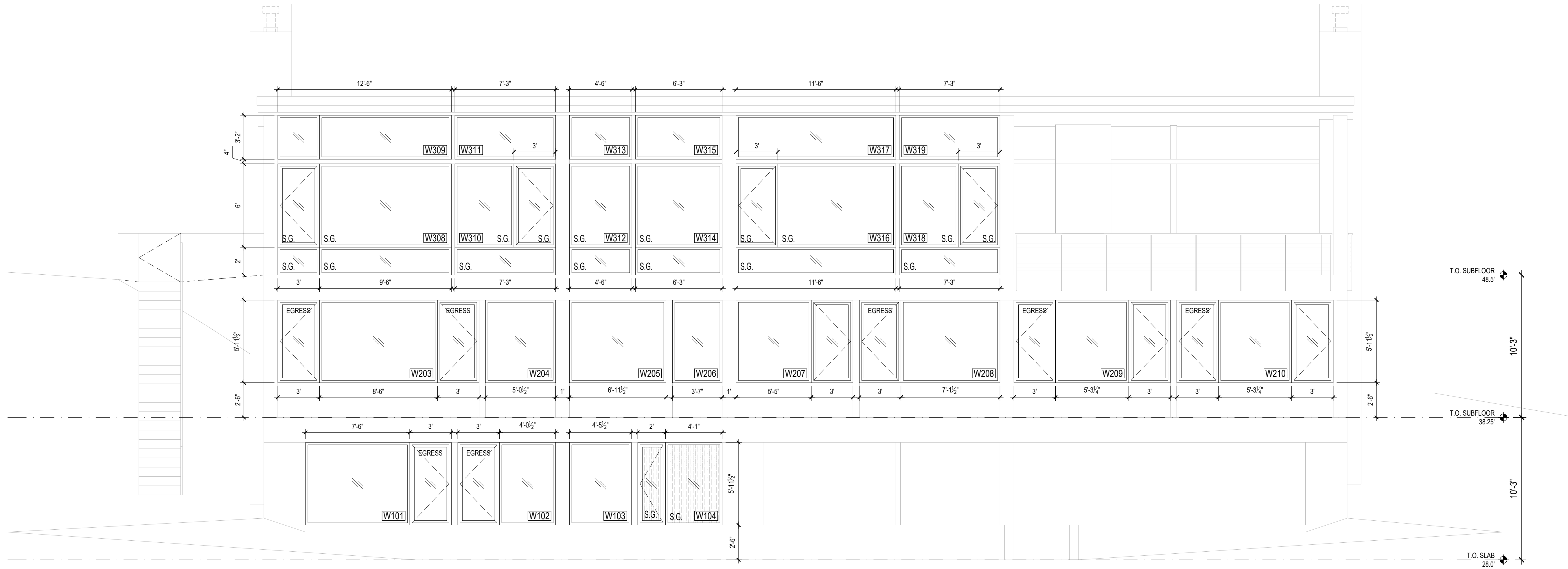
A6.0



PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

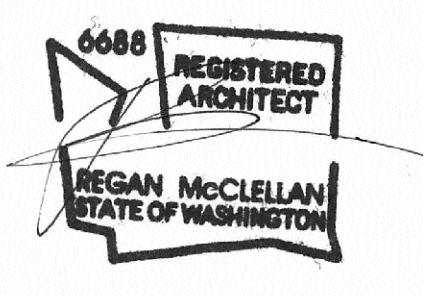
CLIENT:  
MIST LLC

ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS <sup>1</sup> 08.12.2022



1 WEST ELEVATION  
SCALE: 1/4"=1'-0"

<p>WINDOW NOTES:</p> <ol style="list-style-type: none"> <li>1. ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM</li> <li>2. WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON</li> <li>3. SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON</li> <li>4. ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES</li> <li>5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS</li> <li>6. CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308</li> <li>7. THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION</li> </ol>
<p>WINDOW KEY:</p> <p>S.G. - SAFETY GLASS; TEMPERED   - OBSCURE GLASS; FROSTED</p>



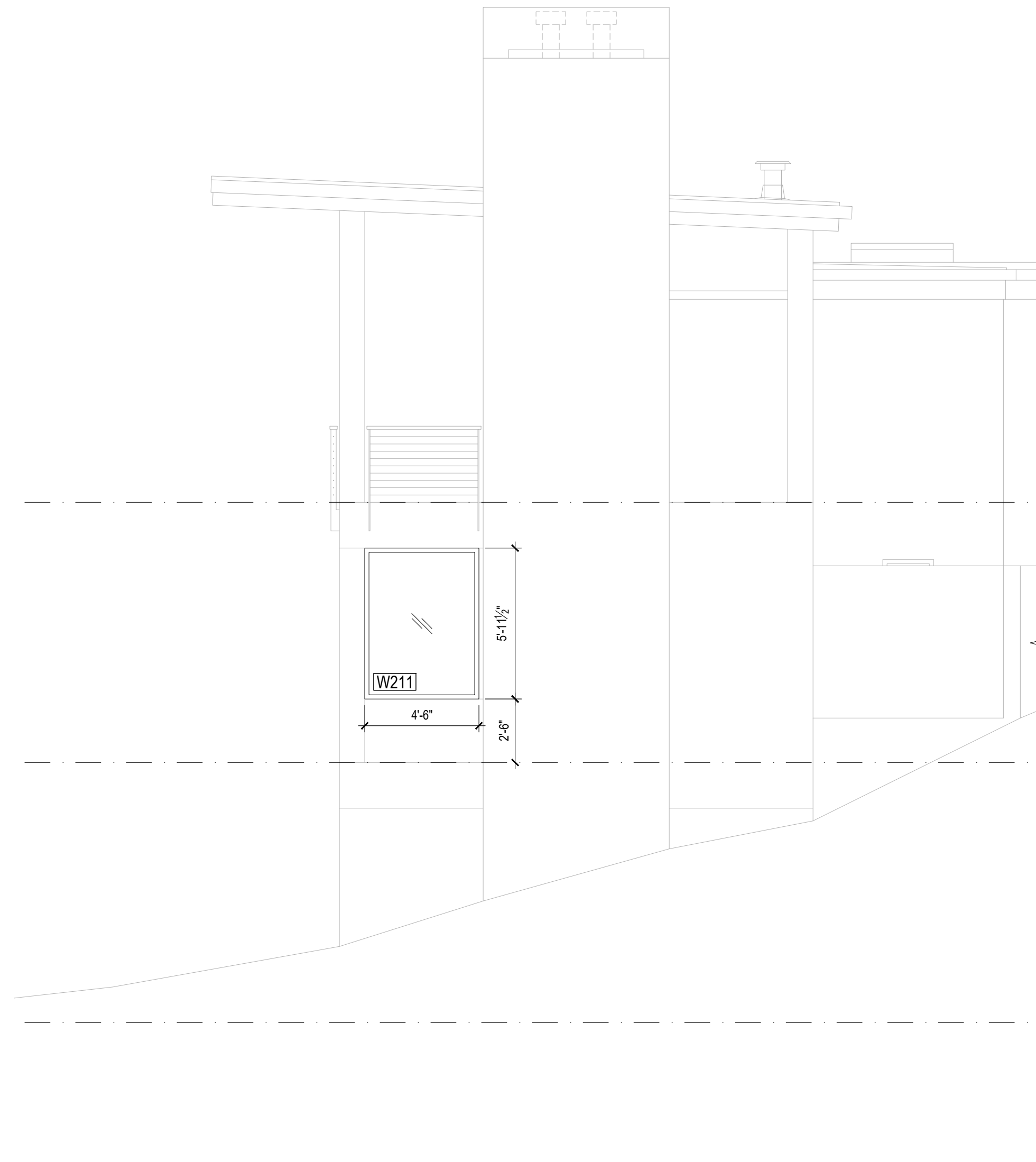
DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
OPENING SCHEDULE

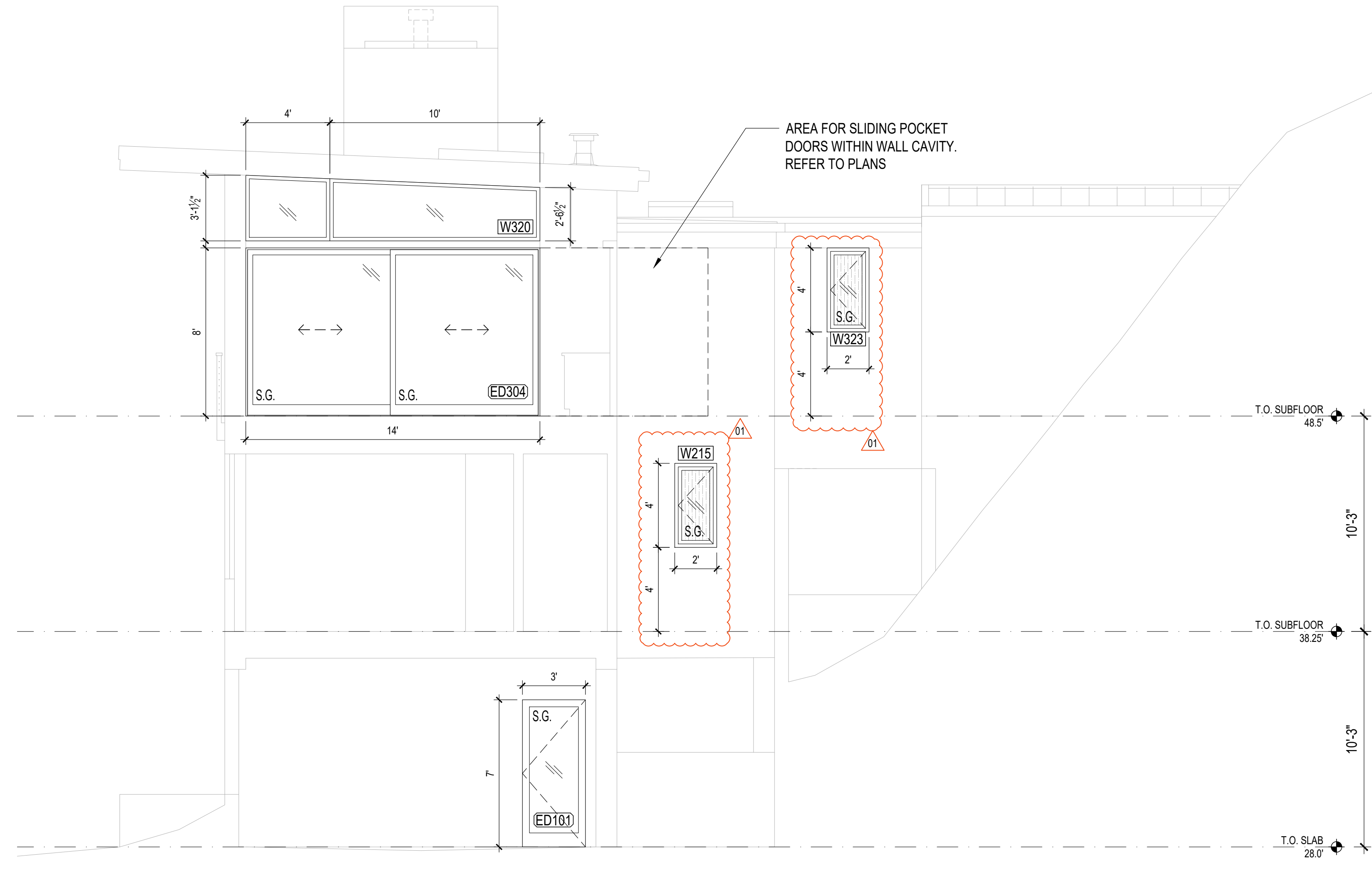
SHEET:

A6.1





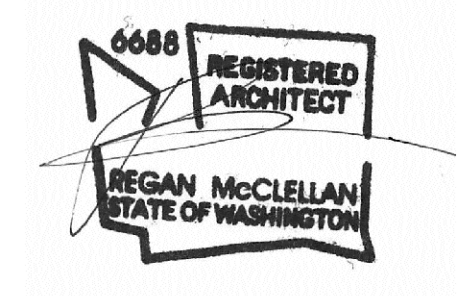


**1** SOUTH ELEVATION - PARTIAL  
SCALE: 1/4"=1'-0"



**2** SOUTH CUTAWAY ELEVATION  
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
1.	ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM
2.	WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON
3.	SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON
4.	ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES
5.	CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS
6.	CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308
7.	THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION
WINDOW KEY:	
	S.G. - SAFETY GLASS; TEMPERED
	OBSCURE GLASS; FROSTED



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
OPENING SCHEDULE


SHEET:

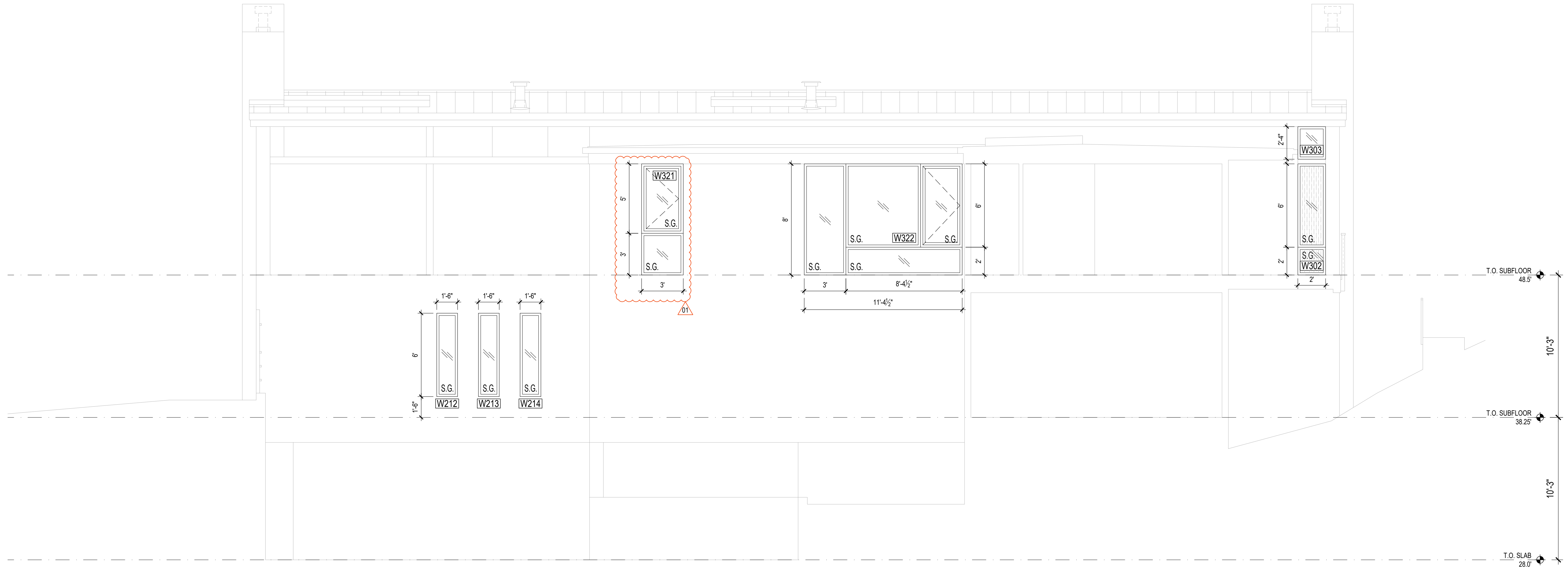
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

PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

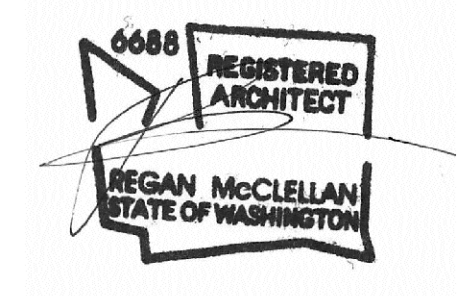
CLIENT:  
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ISSUE:  
PERMIT SUBMISSION 02.25.2022  
PERMIT REVISIONS  08.12.2022



**1 EAST ELEVATION**  
SCALE: 1/4"=1'-0"

WINDOW NOTES:	
<ol style="list-style-type: none"> <li>ALL WINDOWS AND SLIDING DOORS WILL BE A DOUBLE GLAZED ALUMINUM CLAD SYSTEM</li> <li>WINDOWS U-VALUE: MAX 0.28 LowE II, ARGON</li> <li>SLIDING DOORS U-VALUE: MAX 0.28 LowE II, ARGON</li> <li>ALL WINDOWS AND SLIDING DOORS ARE ROUGH OPENING SIZES</li> <li>CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS AND DOORS</li> <li>CONTRACTOR TO CONFIRM ALL SAFETY GLAZING COMPLIES WITH 2018 IRC R.308</li> <li>THE 'NFRC' WINDOW STICKERS ARE TO BE ON EACH WINDOW AT THE TIME OF FRAMING INSPECTION</li> </ol>	
WINDOW KEY:	
	S.G. - SAFETY GLASS; TEMPERED
	- OBSCURE GLASS; FROSTED



DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
OPENING SCHEDULE

SHEET:

**A6.3**



WRITTEN DIMENSIONS:

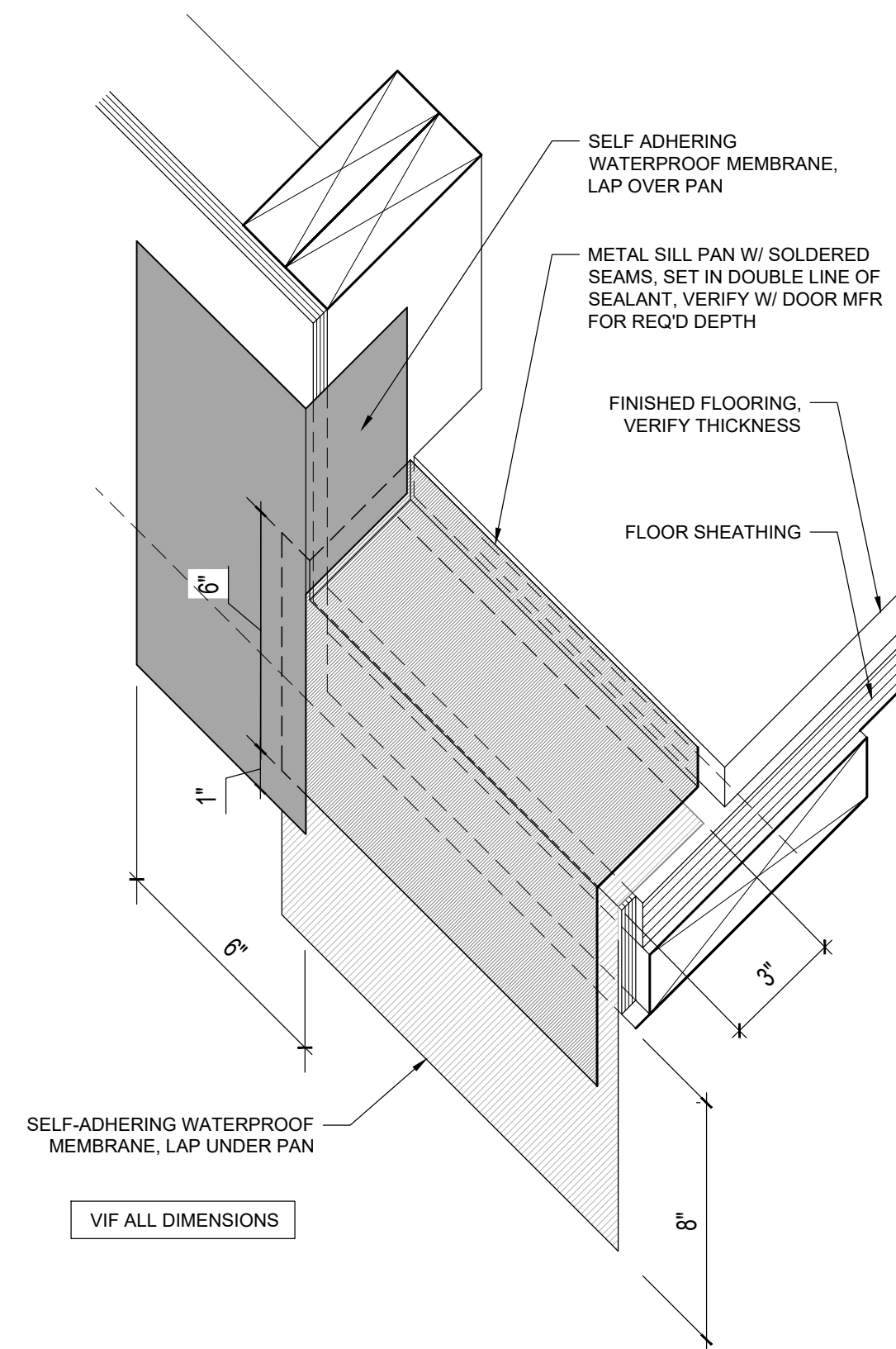
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

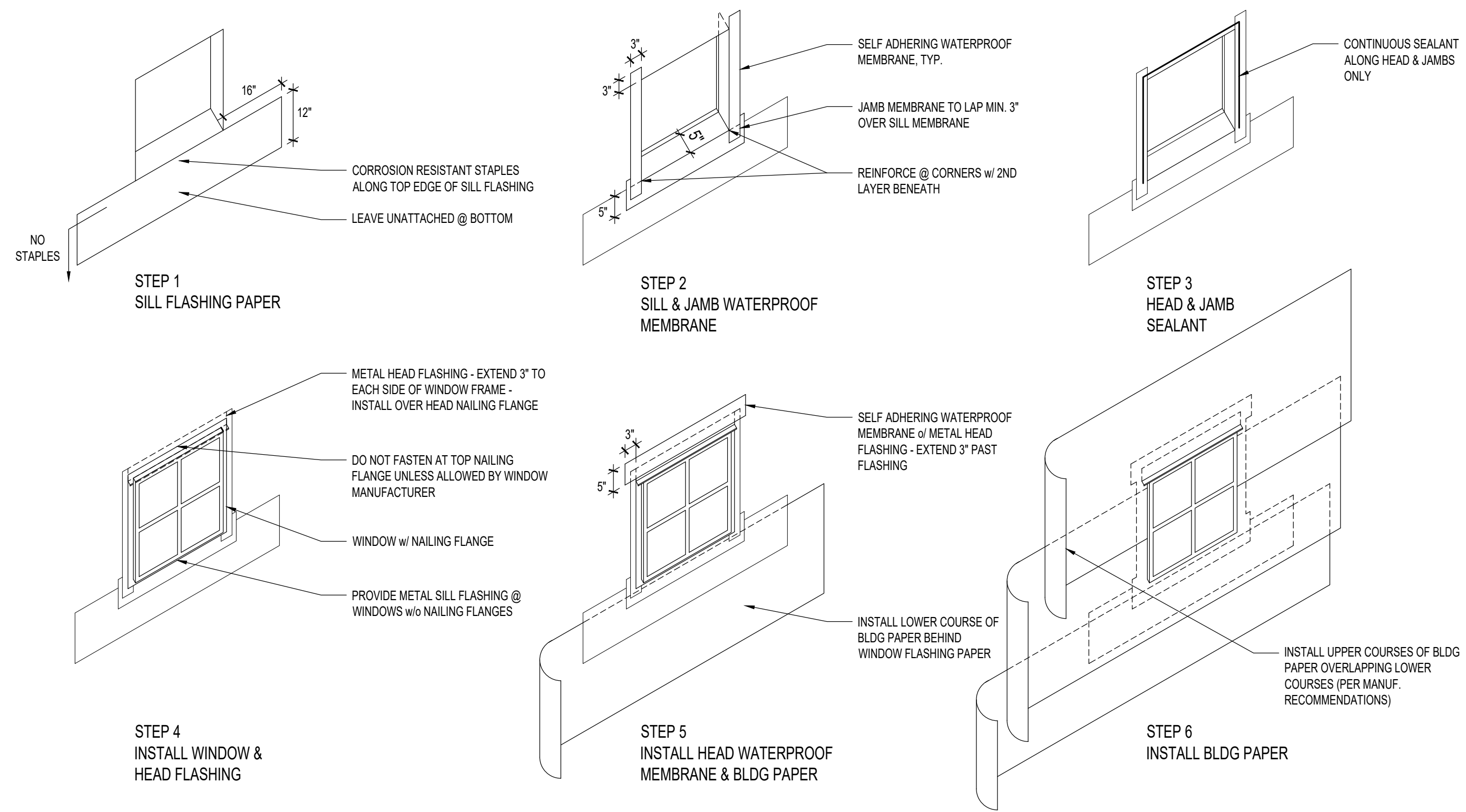
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

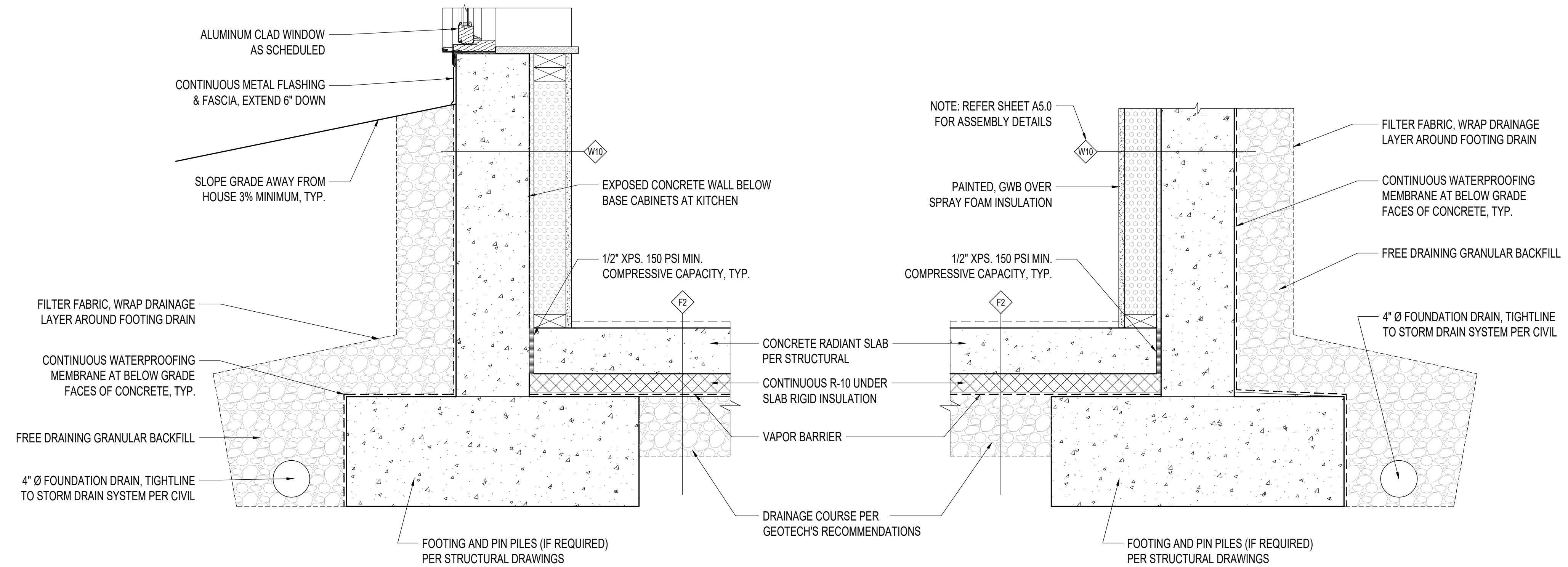
3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 TYPICAL DOOR FLASHING DETAIL  
3" = 1'-0"



2 TYPICAL WINDOW FLASHING DETAILS  
1/2" = 1'-0"



3 FOUNDATION DETAIL  
1-1/2" = 1'-0"

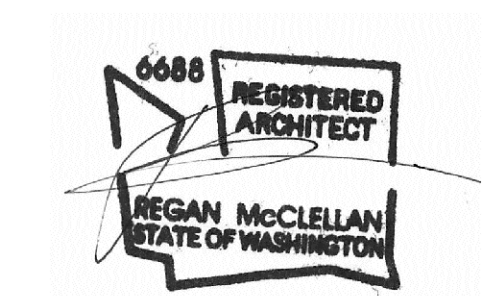
4 FOUNDATION DETAIL  
1-1/2" = 1'-0"

PROJECT:  
WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

CLIENT:  
MIST LLC

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DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
TYPICAL DETAILS

SHEET:

A8.0



WRITTEN DIMENSIONS:

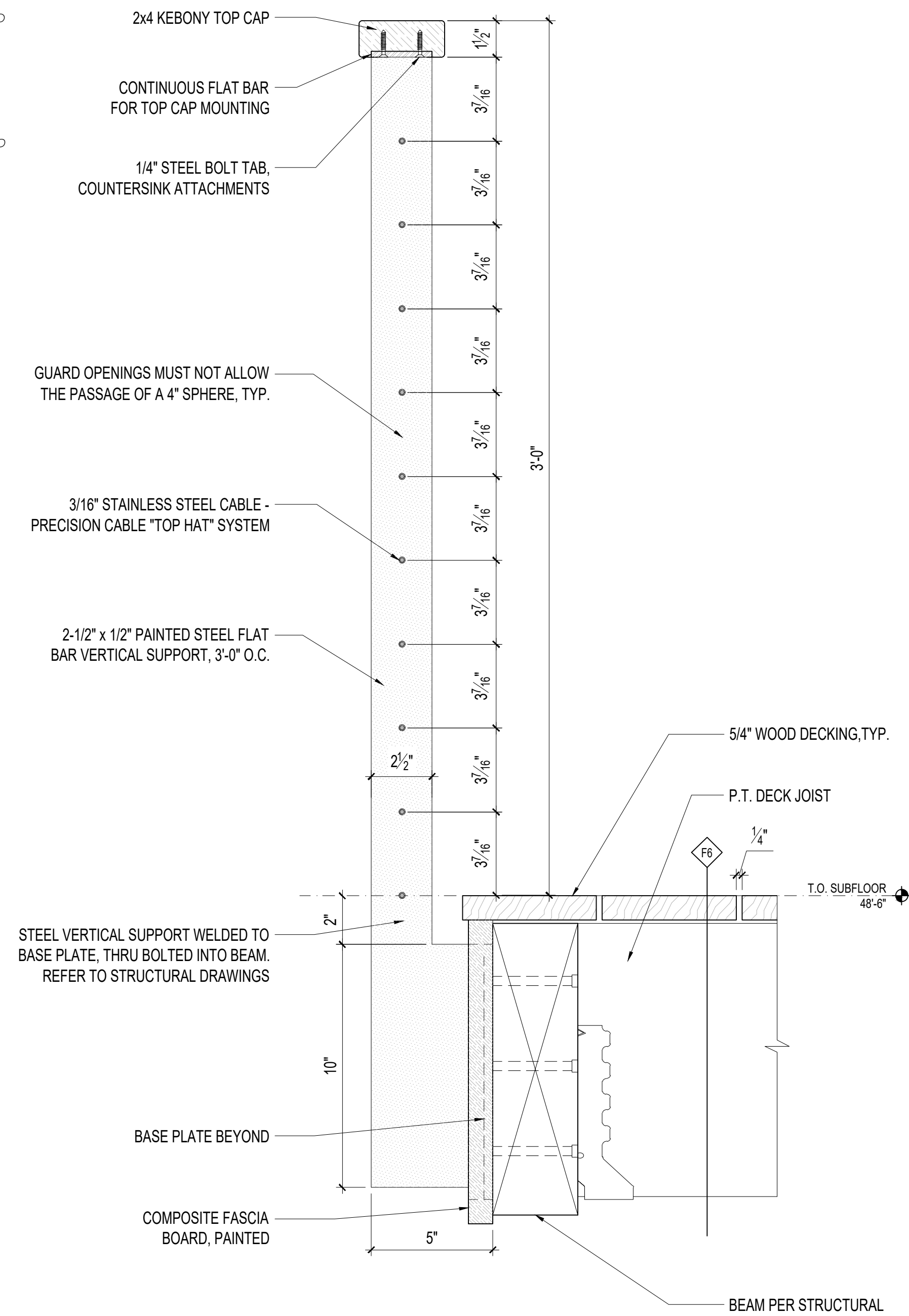
1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.

2. MATERIAL SELECTIONS & FINISHES DENOTED DEPICT DESIGN INTENT. CONTRACTOR TO VERIFY ALL SELECTIONS AND FINISHES W/ OWNER PRIOR TO ORDERING / INSTALLING THE SAME. TYPICAL.

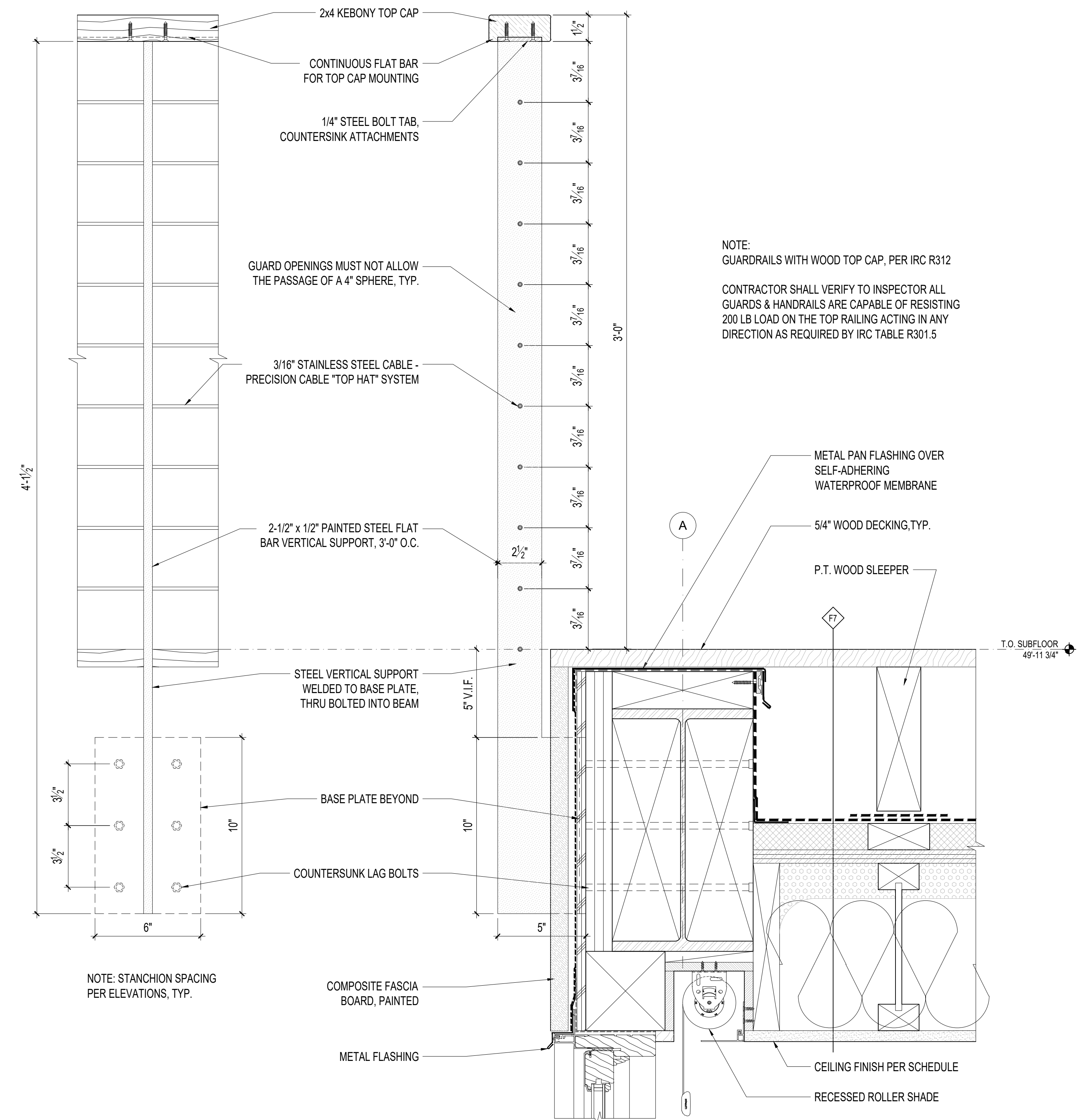
BIDDER DESIGN NOTES:

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

3. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL.



1 GUARDRAIL AT ENTRY BRIDGE  
3\"/>



2 GUARDRAIL AT TERRACE  
3\"/>

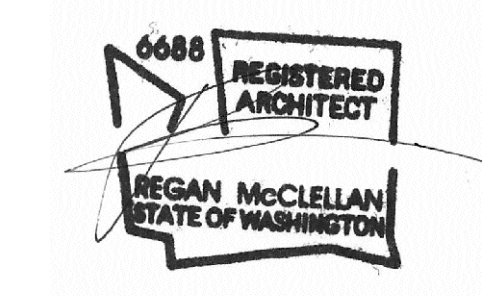
3 GUARDRAIL AT TERRACE  
3\"/>

NOTE:  
GUARDRAILS WITH WOOD TOP CAP, PER IRC R312  
  
CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & HANDRAILS ARE CAPABLE OF RESISTING 200 LB LOAD ON THE TOP RAILING ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5

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WESTVIEW RESIDENCE  
4045 W MERCER WAY  
MERCER ISLAND WA 98040

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MIST LLC

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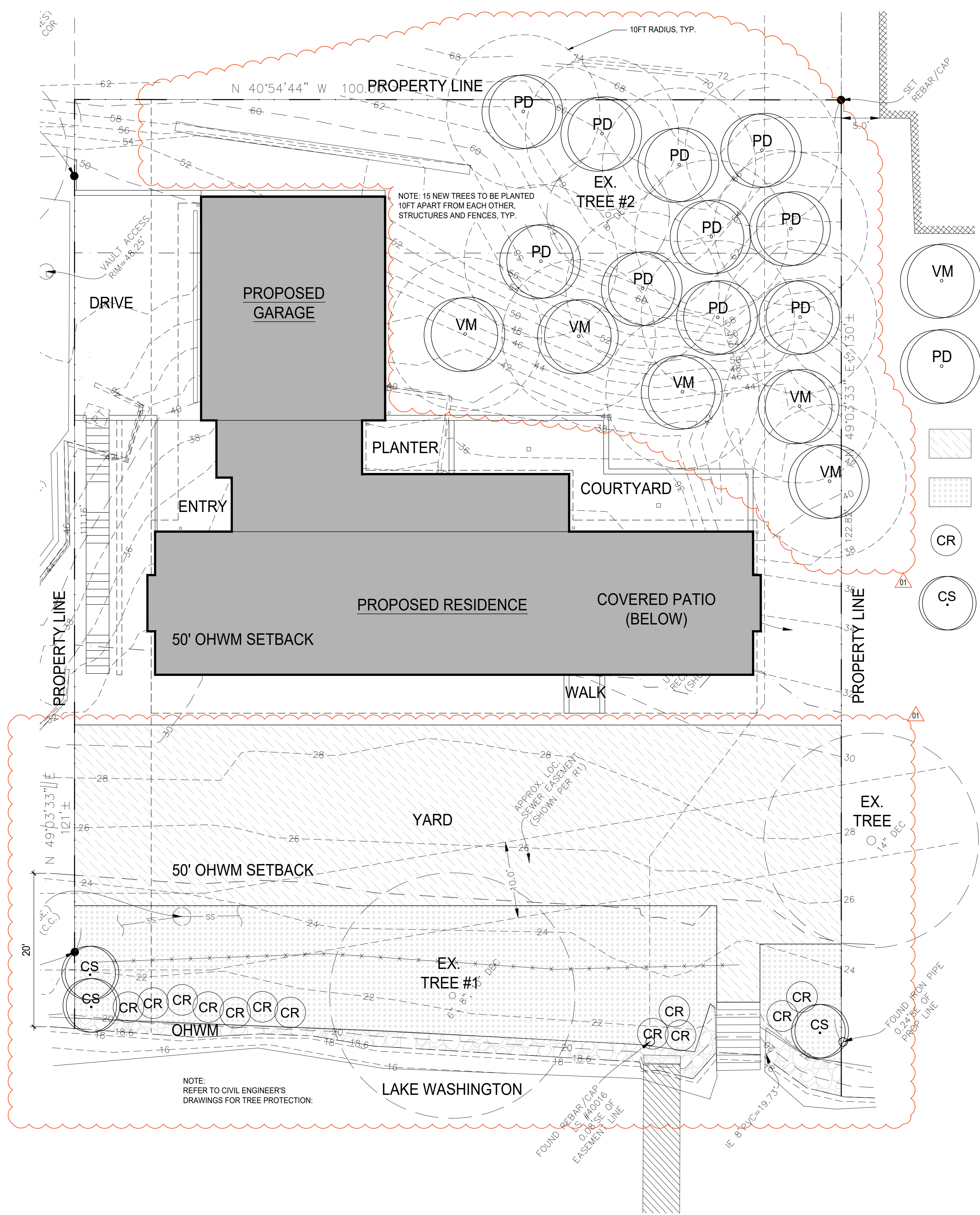
DATE:  
FEBRUARY 25, 2022

SHEET TITLE:  
TYPICAL DETAILS

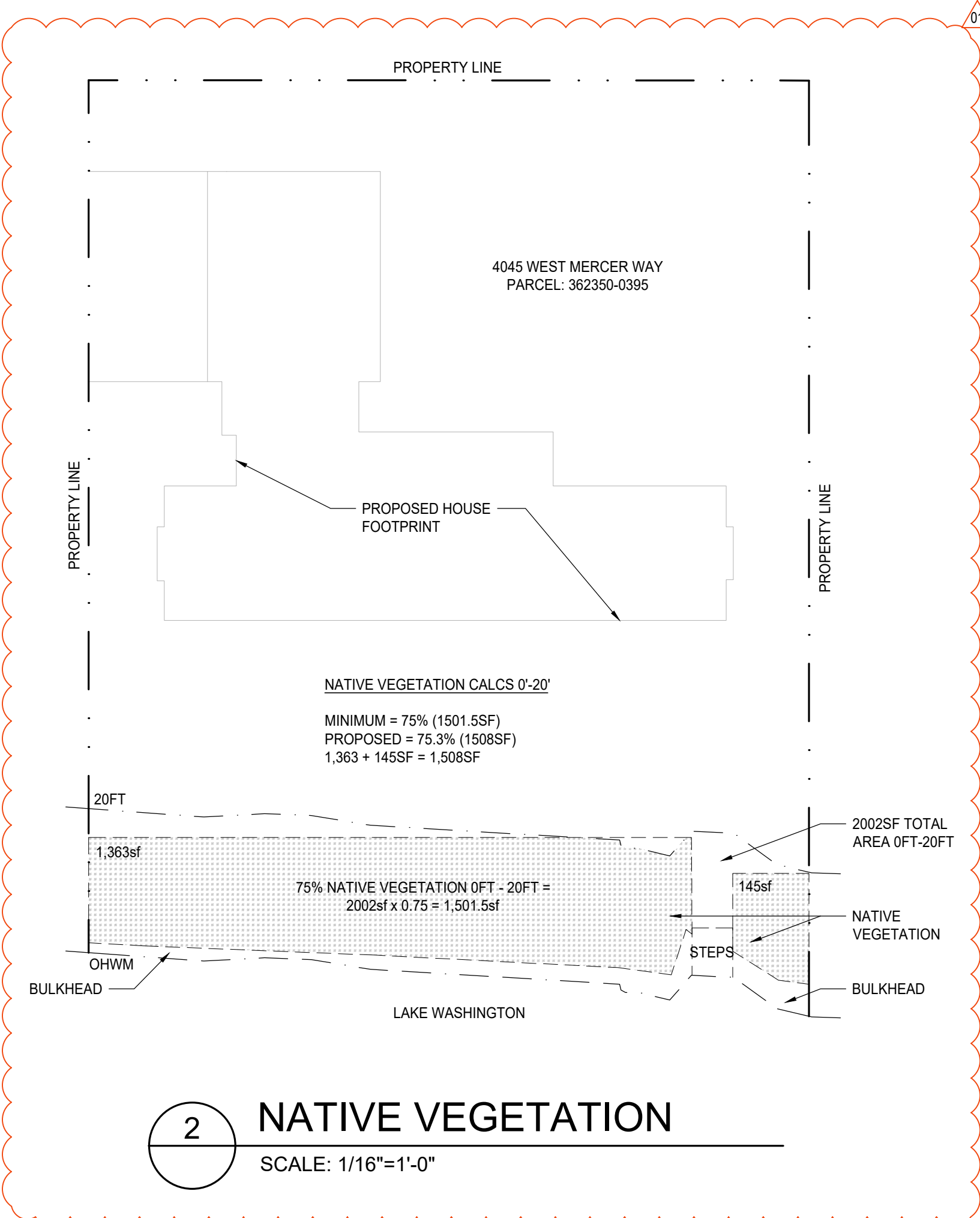
SHEET:

A8.1





- VM VINE MAPLE  
ACER CIRCINATUM
- PD PACIFIC DOGWOOD  
CORNUS NUTALLII
- CR CLUSTER ROSE  
ROSA PISOCARPA
- CS RED TWIG DOGWOOD  
CORNUS SERICEA
- LAWN
- BEACH STRAWBERRY

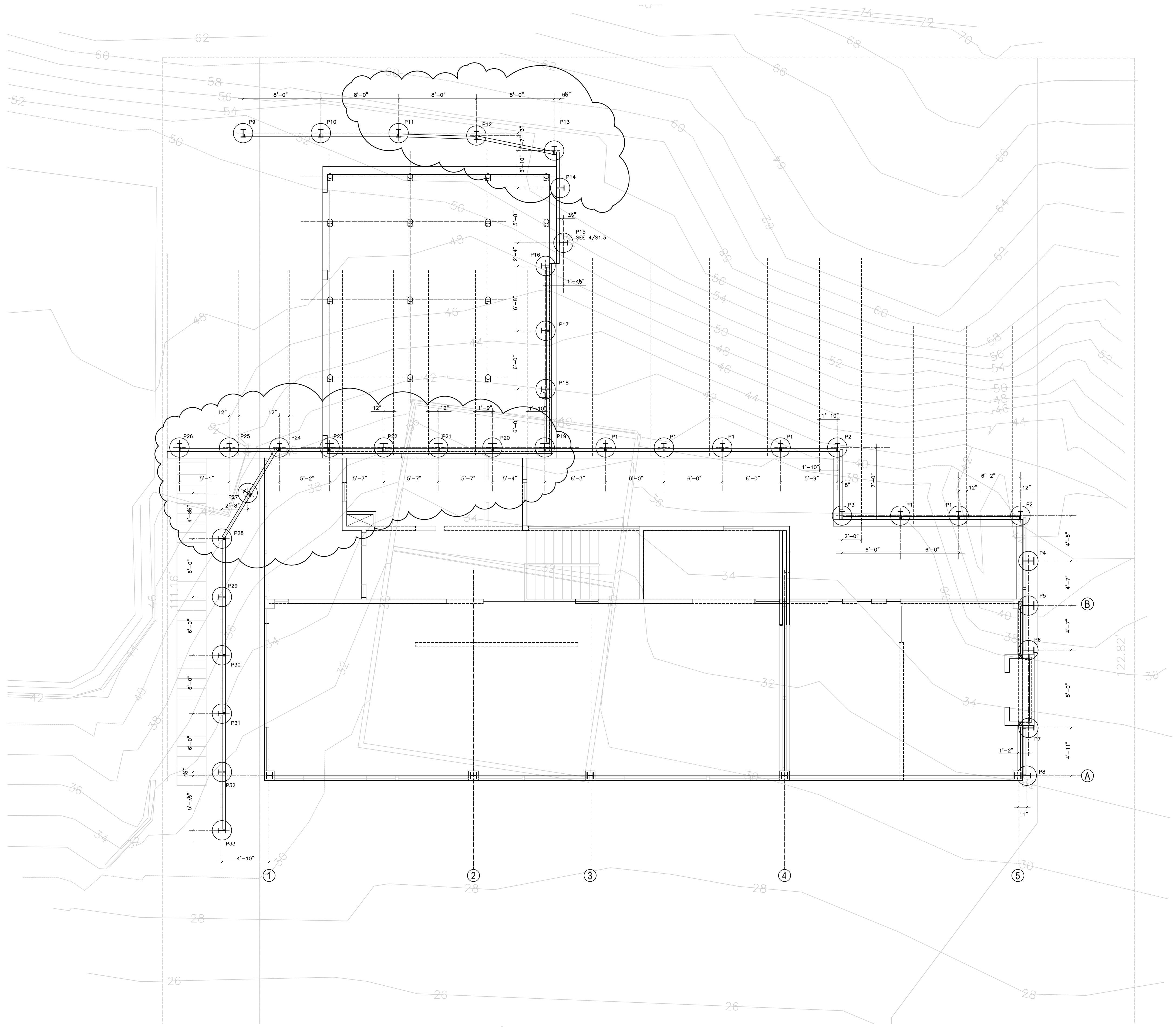


1 SITE PLAN - PLANTING  
SCALE: 1/8"=1'-0"



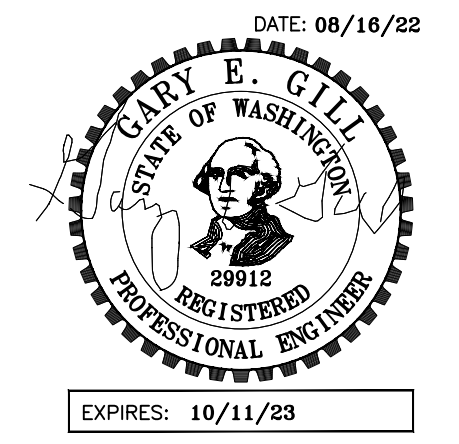






1 SHORING PLAN

GARY GILL, SE  
 1125 NE 152nd STREET  
 SHORELINE, WA 98155  
 PH: 206-992-2728  
 GILL26608@YAHOO.COM  
 COPYRIGHT 2016 McCLELLAN ARCHITECTS



PROJECT:  
 WEST VIEW RESIDENCE  
 4045 WEST MERCER WAY  
 MERCER ISLAND, WA 98040

CLIENT:  
 FERAS ALROUK  
 7683 SE 27th STREET UNIT #418  
 MERCER ISLAND, WA 98040

ISSUE:  
 PERMIT SUBMITTAL 02-26-2022  
 PERMIT COMMENTS RESPONSE  
 08-16-2022

DATE:  
**26 FEB 2022**

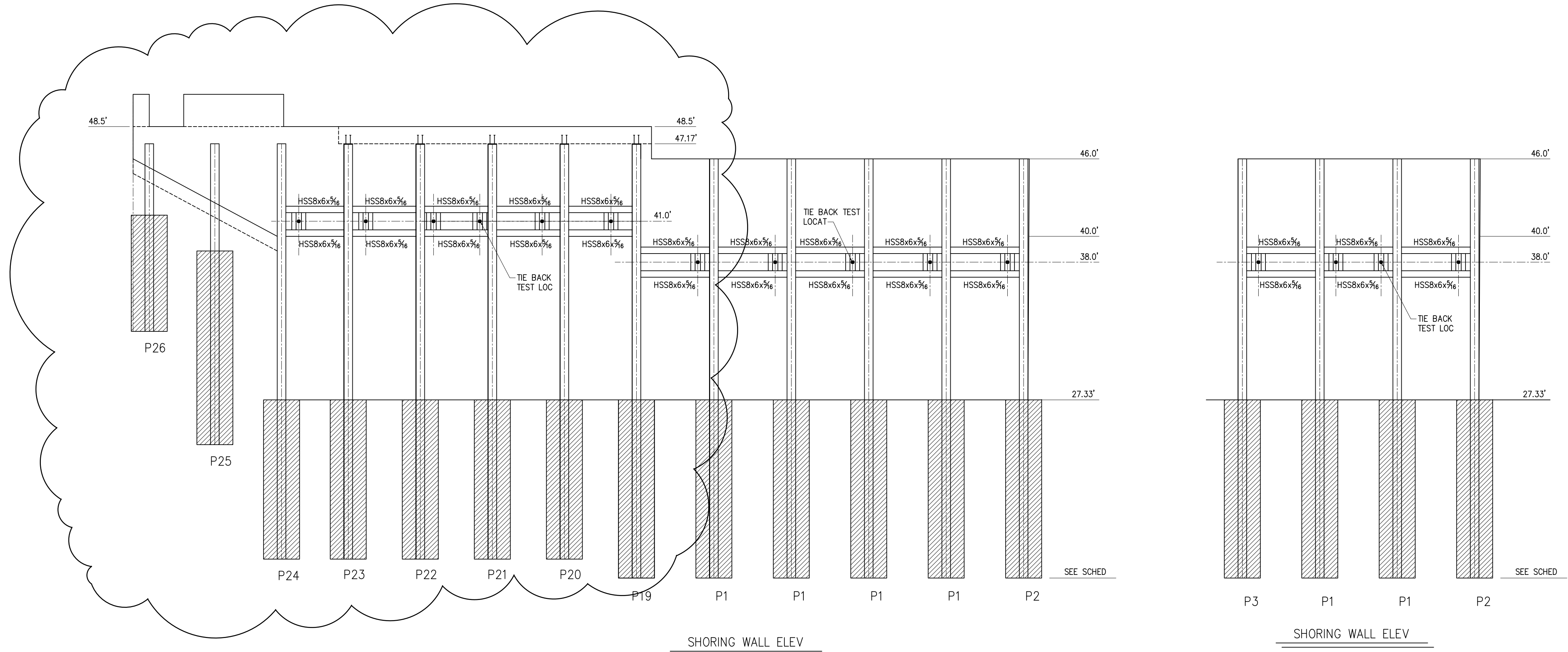
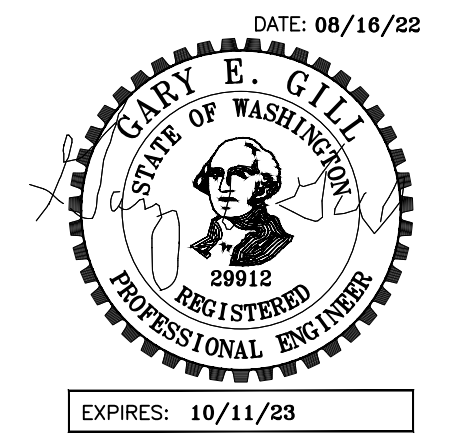
SHEET TITLE:  
 SHORING PLAN

SHEET:  
 S1.1



GARY GILL, SE  
 1125 NE 152nd STREET  
 SHORELINE, WA 98155  
 PH: 206-992-2728  
 GILL26608@YAHOO.COM

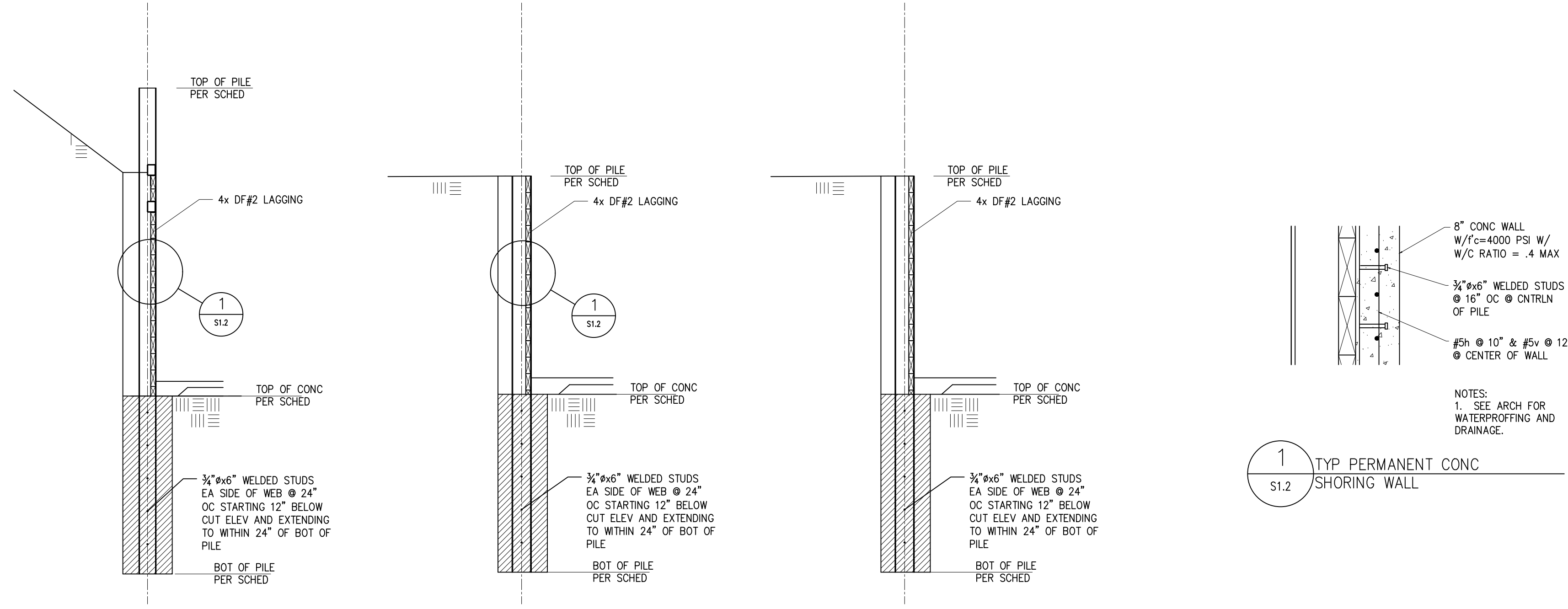
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 PERMIT SUBMITTAL 02-26-2022  
 PERMIT COMMENTS RESPONSE  
 08-16-2022



TYP PERMANENT SHORING WALL W/TIEBACKS  
 TYP PERMANENT SHORING WALL W/O TIEBACKS  
 TYP TEMPORARY SHORING WALL W/O TIEBACKS

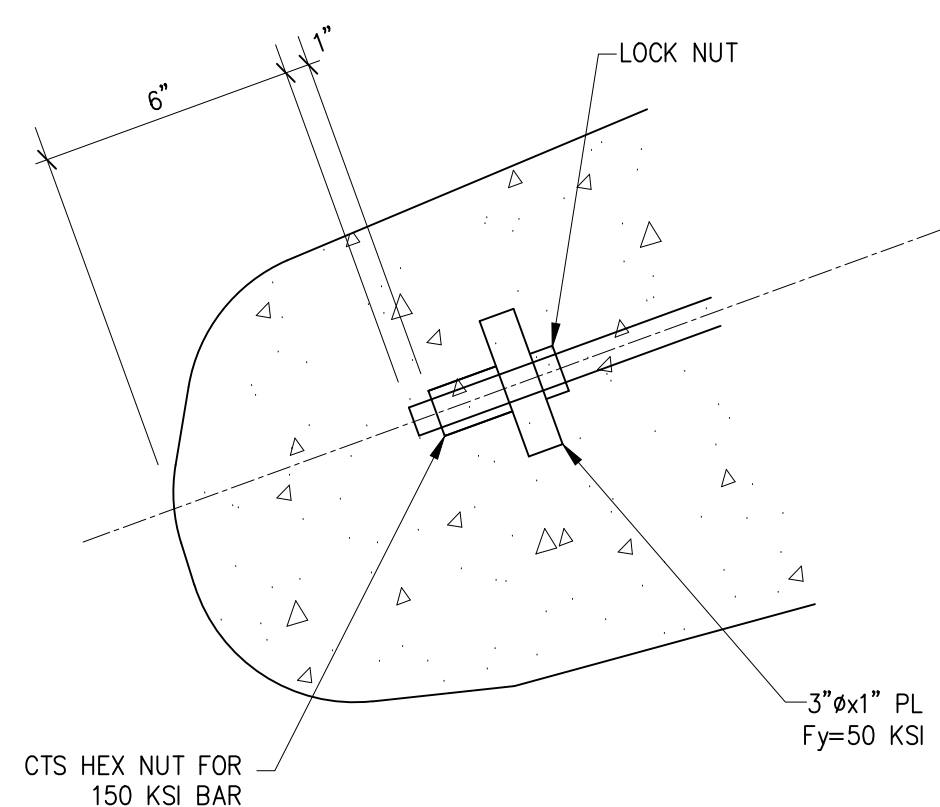
DATE:  
**26 FEB 2022**

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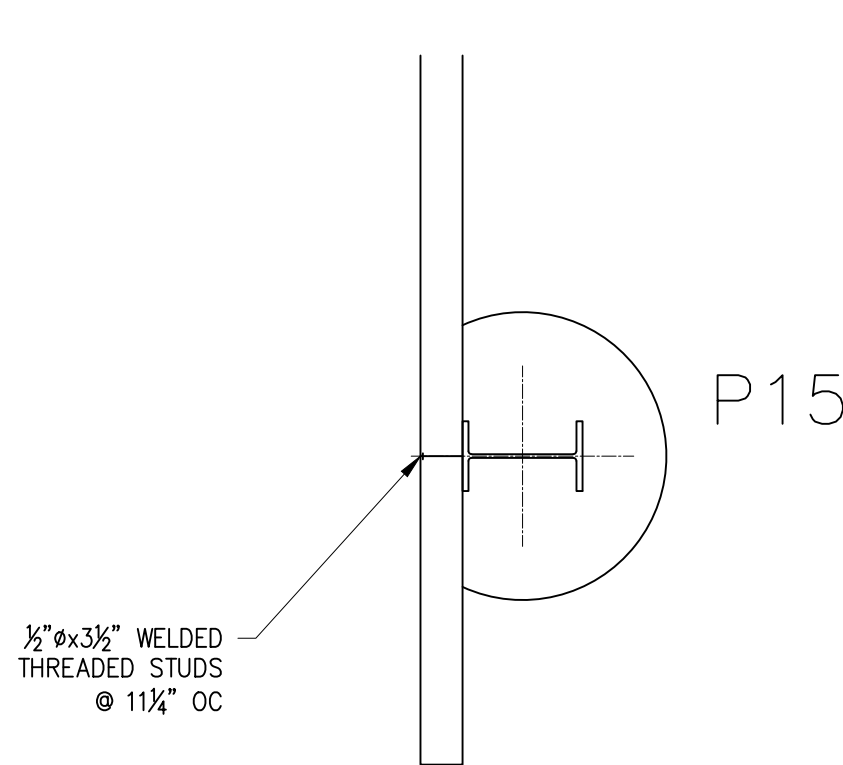
& TYP SECTIONS  
 SHEET:

S1.2

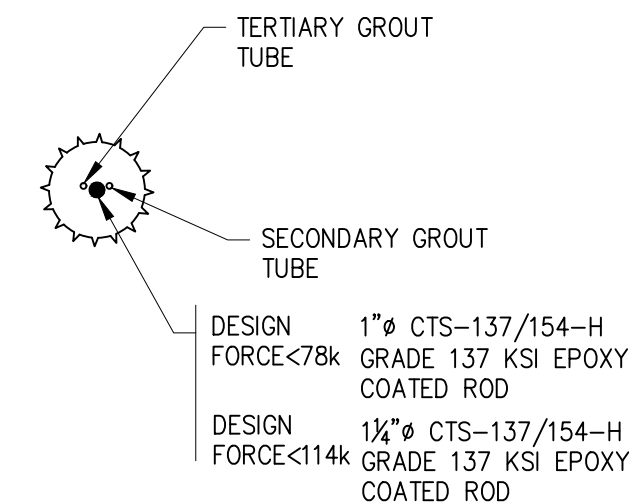




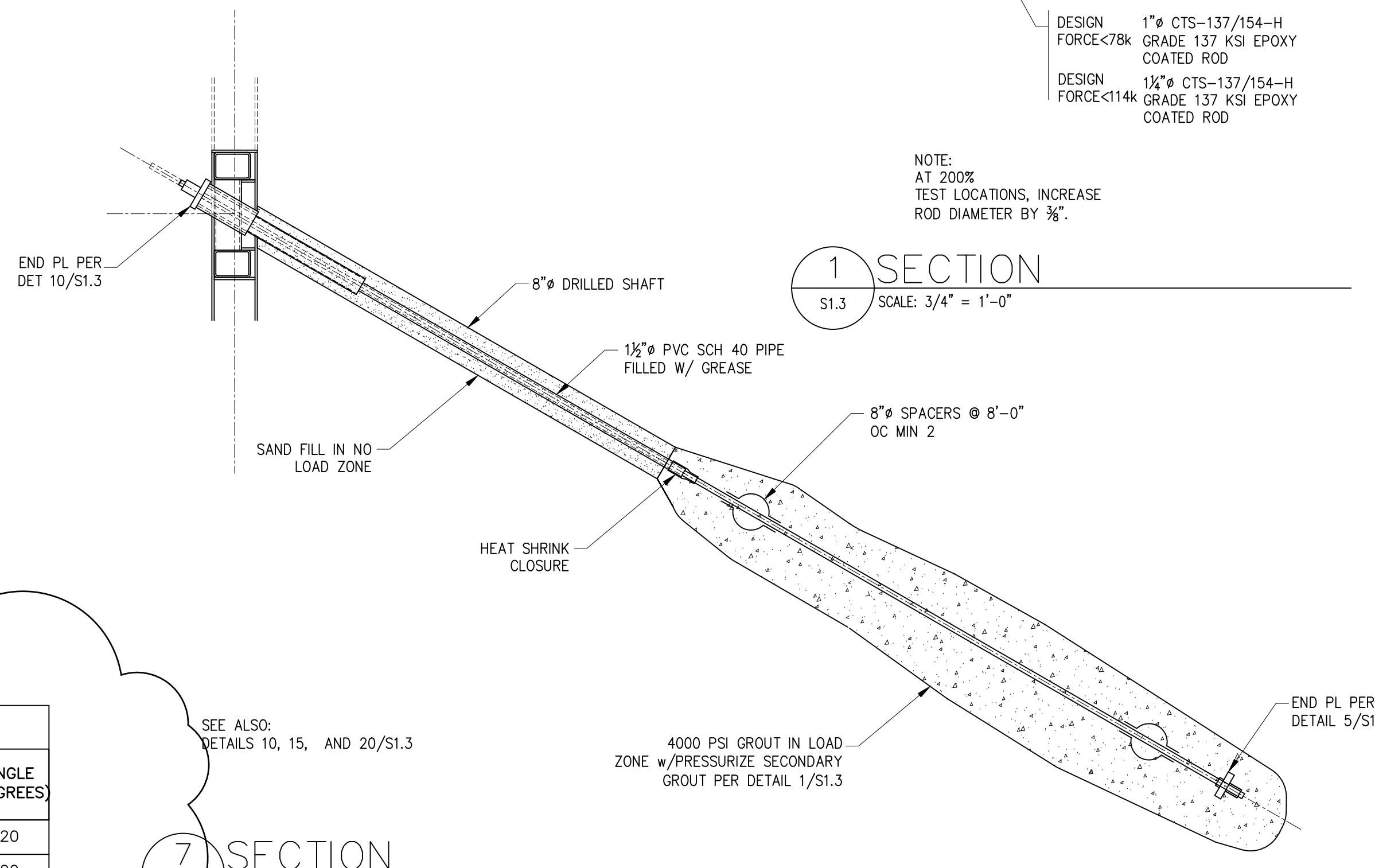
5 SECTION  
S1.3 SCALE: 3/4" = 1'-0"



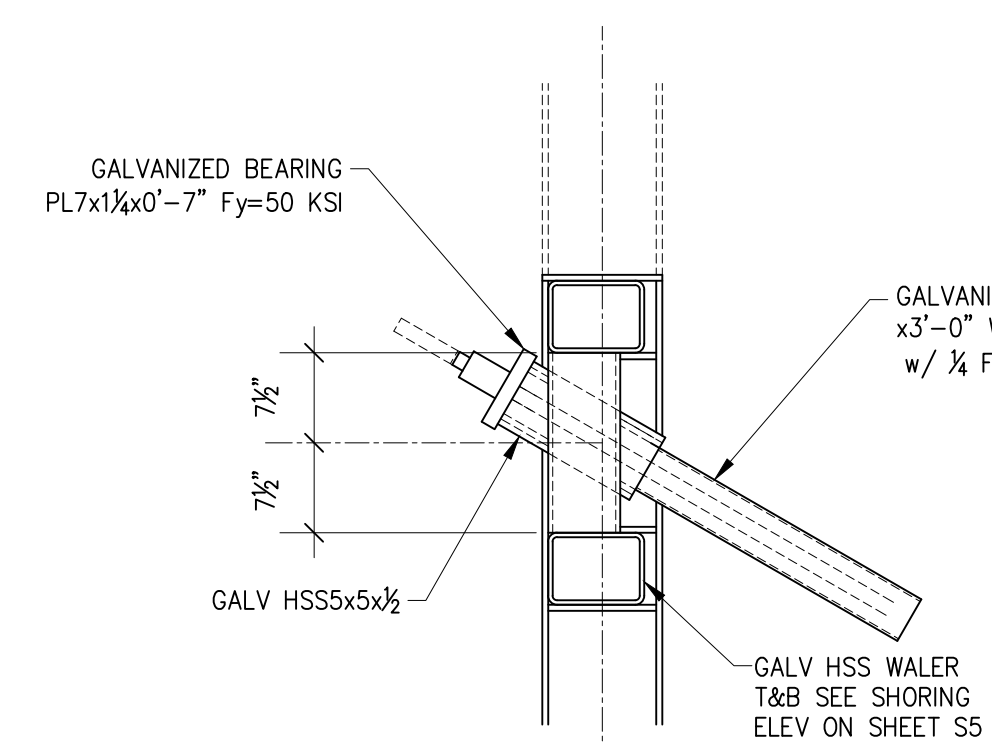
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S1.3 SCALE: 3/4" = 1'-0"



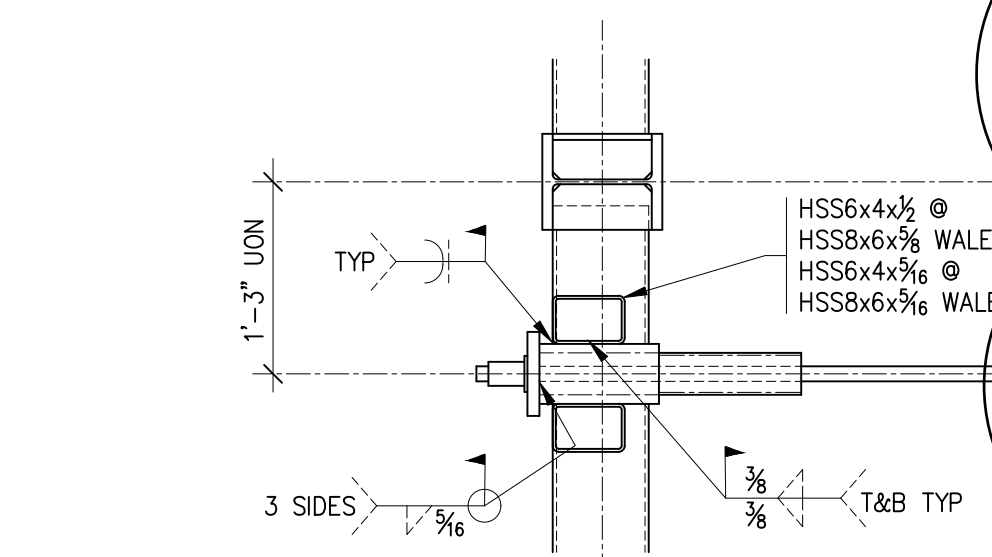
1 SECTION  
S1.3 SCALE: 3/4" = 1'-0"



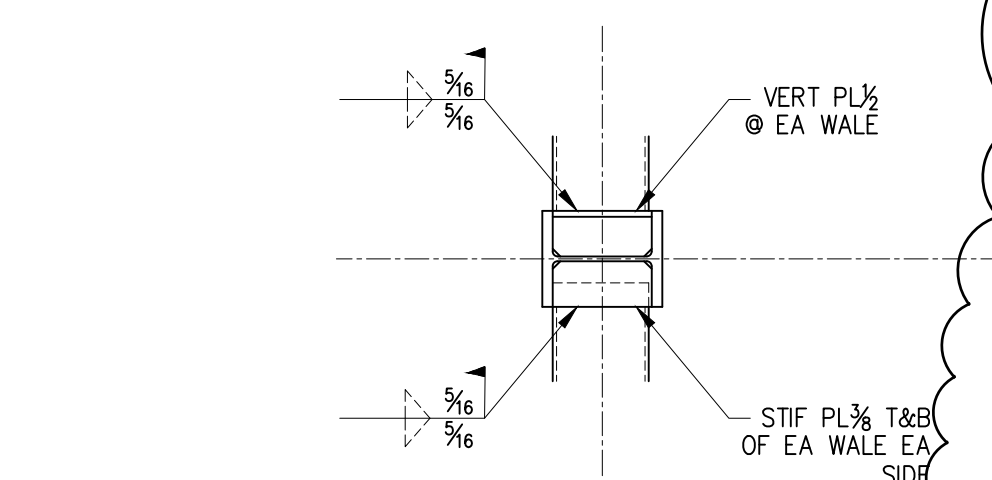
7 SECTION  
S1.3 SCALE: 3/4" = 1'-0"



10 SECTION  
S1.3 SCALE: 3/4" = 1'-0"



15 SECTION  
S4.3 SCALE: 3/4" = 1'-0"



20 SECTION  
S4.3 SCALE: 3/4" = 1'-0"

SOLDIER PILE SCHEDULE						
MARK	DIA	SIZE	TOP OF PILE	TOP OF CONC	BOT OF PILE	TIE BACK
P1	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T1
P2	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T1
P3	2'-0"	W10x39	48'-0"	27'-4"	13'-6"	T2
P4	2'-0"	W14x61	42'-0"	27'-4"	10'-0"	NONE
P5	2'-0"	W14x61	41'-0"	26'-6"	9'-4"	NONE
P6	2'-0"	W14x43	40'-0"	26'-6"	11'-4"	NONE
P7	2'-0"	W14x26	37'-0"	26'-6"	15'-4"	NONE
P8	2'-0"	W10x12	34'-0"	26'-6"	19'-0"	NONE
P9	2'-0"	W10x12	52'-0"	47'-2"	41'-6"	NONE
P10	2'-0"	W10x12	53'-0"	47'-2"	39'-3"	NONE
P11	2'-0"	W10x15	54'-0"	47'-2"	37'-8"	NONE
P12	2'-0"	W10x26	58'-0"	47'-2"	36'-0"	NONE
P13	2'-0"	W10x26	58'-0"	47'-2"	36'-0"	NONE
P14	2'-0"	W10x15	56'-0"	47'-2"	38'-0"	NONE
P15	2'-0"	W10x12	53'-0"	47'-2"	39'-9"	NONE
P16	2'-0"	W10x12	47'-2"	44'-0"	38'-6"	NONE
P17	2'-0"	W10x19	47'-2"	40'-6"	30'-3"	NONE
P18	2'-0"	W10x39	47'-2"	38'-6"	26'-6"	NONE
P19	2'-0"	W10x39	47'-2"	27'-4"	17'-4"	T3
P20	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P21	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P22	2'-0"	W10x49	47'-2"	27'-4"	17'-4"	T3
P23	2'-0"	W10x49	47'-2"	27'-4"	15'-0"	T3
P24	2'-0"	W10x77	47'-6"	27'-4"	15'-0"	T4
P25	2'-0"	W10x54	47'-6"	38'-0"	24'-0"	NONE
P26	2'-0"	W10x22	47'-6"	40'-0"	30'-0"	NONE
P27	2'-0"	W10x68	40'-0"	26'-6"	12'-0"	NONE
P28	2'-0"	W10x88	40'-0"	26'-6"	12'-9"	NONE
P29	2'-0"	W10x100	40'-0"	26'-6"	10'-3"	NONE
P30	2'-0"	W10x77	38'-0"	26'-6"	11'-8"	NONE
P31	2'-0"	W10x30	36'-0"	26'-6"	15'-9"	NONE
P32	2'-0"	W10x15	34'-0"	26'-6"	18'-9"	NONE
P33	2'-0"	W10x12	32'-0"	26'-6"	21'-0"	NONE

TIE BACK SCHEDULE					
MARK	ELEVATION	L1 (NO LOAD ZONE)	L2 (LOAD ZONE)	DESIGN FORCE (kips)	ANGLE (DEGREES)
T1	38'-0"	9'-0"	12'-0"	31.8	20
T2	38'-0"	16'-0"	12'-0"	31.8	20
T3	41'-0"	9'-0"	13'-6"	55.4	30
T4	41'-0"	9'-0"	8'-0"	26.6	30

**TIE BACK INSTALLATION AND TESTING**

- TWO PRODUCTION TIE BACKS SHALL BE TESTED TO 200% OF THE DESIGN LOAD. THE TWO TIE BACKS TO BE TESTED ARE INDICATED ON THE SHORING ELEVATIONS.
- FOR THE TWO 200% TIE BACK TESTS, APPLY THE TEST LOADS IN 10 KIP INCREMENTS AND HOLD THE LOAD AT EACH INCREMENT FOR 5 MINUTES. HOLD THE FINAL LOAD FOR 30 MINUTES. MEASUREMENTS OF THE TIE ROD MOVEMENT SHALL BE ACCURATELY RECORDED THROUGHOUT THE TESTING PERIOD. A LINEAR OR NEAR LINEAR RELATIONSHIP BETWEEN THE APPLIED LOADS AND TIE ROD MOVEMENT WILL INDICATE A SUCCESSFUL ANCHOR TEST. REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- ALL TIEBACKS EXCEPT THOSE TESTED TO 200% SHALL BE LOADED TO 130% OF THE DESIGN LOAD AND HELD AT THAT LOAD FOR AT LEAST 5 MINUTES. AN ANCHOR WILL BE CONSIDERED ACCEPTABLE PROVIDED THE FOLLOWING CRITERIA IS MET:
  - THE TOTAL MOVEMENT OBTAINED FROM THE PERFORMANCE AND PROOF TESTS EXCEEDS 80 PER CENT OF THE THEORETICAL ELASTIC ELONGATION OF THE DESIGN FREE STRESSING LENGTH.
  - THE CREEP RATE DURING THE FINAL TEST LOAD DOES NOT EXCEED 0.040 INCH PER LOG CYCLE OF TIME FOR PROOF TESTS, AND IS LINEAR OR DECREASING CREEP RATE, REGARDLESS OF TENDON LENGTH AND LOAD. OTHERWISE, THE ANCHOR SHOULD BE HELD FOR AN ADDITIONAL 60 MINUTES AT THE REQUIRED TEST LOAD TO A CREEP RATE LESS THAN 0.080 INCH PER LOG CYCLE OF TIME. PERFORMANCE TEST SHOULD NOT EXCEED A CREEP RATE OF 0.080 INCH PER LOG CYCLE OF TIME AFTER 60 MINUTES.
- AFTER TESTING IS COMPLETE, REDUCE THE LOAD ON THE TIE BACK TO THE DESIGN LOAD AND LOCK IT OFF.
- THE GEOTECH OF RECORD SHALL MONITOR ALL TIE BACK INSTALLATIONS AND TESTING.

**SHORING NOTES:**

- SUBMIT A DETAILED LAYOUT OF ALL SOLDIER PILE LOCATIONS SHOWING TOP OF PILE, TOP OF CONCRETE, BOTTOM OF PILE AND PROXIMITY TO BUILDING GRID AND WALLS. DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE A GUIDE CONVEYING SPACING INTENT AND GENERAL CONFIGURATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THAT SHORING SYSTEM AND WALLS ARE LOCATED SO THAT BUILDING DIMENSIONS AND LOCATION IS IN ACCORDANCE WITH THE DIMENSIONS PROVIDED IN THE ARCHITECTURAL DRAWINGS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONDUCT A DETAILED SURVEY OF EXISTING ADJACENT FACILITIES AND FEATURES SUCH AS STRUCTURES, SIDEWALKS, UTILITIES, ETC. TO DOCUMENT THE EXISTING CONDITION AND VERTICAL AND HORIZONTAL POSITION OF ALL SUCH FEATURES. AS A MINIMUM, SURVEY THE TOP OF EVERY OTHER SOLDIER PILE FOR VERTICAL AND HORIZONTAL DISPLACEMENT TWICE WEEKLY DURING SHORING INSTALLATION AND EXCAVATION. A LICENSED SURVEYOR, NOT THE CONTRACTOR, MUST DO THE SURVEYING AT LEAST ONCE A WEEK.
- ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL AND AT DISTANCES UP TO THE WALL HEIGHT, H, BEHIND THE WALL FACE. THESE POINTS SHALL BE SPACED NO FURTHER APART THAN THE DISTANCE BETWEEN THE NEAREST TWO ADJACENT SOLDIER PILES. MONITOR ANY ADJACENT OR NEARBY MOVEMENT OF SENSITIVE STRUCTURES OR FACILITIES. ALSO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD.
- SURVEY FREQUENCY CAN BE DECREASED AFTER THE COMPLETE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO MOVEMENT. DECREASING THE FREQUENCY OF MONITORING MUST BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD AND CITY OF MERCER ISLAND. SURVEYING MUST CONTINUE UNTIL THE STRUCTURE IS COMPLETE UNTIL THE UPPER FLOOR FRAMING DIAPHRAGM HAS BEEN INSTALLED AND COMPLETELY NAILED.
- SUBMIT SURVEY DATA TO THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND EACH WEEK. NOTIFY ALL THREE IMMEDIATELY IF ANY UNUSUAL OR SIGNIFICANT MOVEMENT OCCURS.
- AS A MINIMUM, NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD, THE STRUCTURAL ENGINEER OF RECORD AND THE CITY OF MERCER ISLAND IF CUMULATIVE DISPLACEMENT REACHES 1/2 INCH TOTAL OR IF MORE THAN 1/4 INCH DISPLACEMENT IS OBSERVED BETWEEN ANY TWO CONSECUTIVE READINGS. IF CUMULATIVE MOVEMENT REACHES 1 INCH CAUSES FOR THE MOVEMENT WILL BE DETERMINED BY THE ENGINEERS OF RECORD AND REMEDIAL MEASURES WILL BE IMPLEMENTED.

**SOLDIER PILE NOTES:**

- COAT ALL PILES, WALERS AND OTHER PERMANENT SHORING COMPONENTS WITH AN EPOXY BASED COATING SUFFICIENT TO PROTECT THE STEEL FOR THE EXPECTED LIFE OF THE BUILDING STRUCTURE. ALL PILES EXCEPT P9-P15 AND P27-P33 ARE PERMANENT PILES. PROVIDE COATING SPECIFICATION FOR REVIEW TO THE ENGINEER OF RECORD PRIOR TO FABRICATION OF PILES. DO NOT COAT FACE OF PILE TO RECEIVE WELDED HEADED STUDS.
- W PILES SHALL BE A572 Fy=50 KSI. WALERS SHALL BE A500 Fy=46 KSI.
- VERIFY ALL SCHEDULED ELEVATIONS WITH EXISTING AND FINISH GRADES.
- SUBMIT SHOP DRAWINGS FOR ENTIRE SOLDIER PILE WALL SYSTEM FOR REVIEW BY ENGINEER OF RECORD. RESPOND TO ANY COMMENTS OF ENGINEER OF RECORD'S REVIEW PRIOR TO FABRICATION OF SOLDIER WALL SYSTEM.

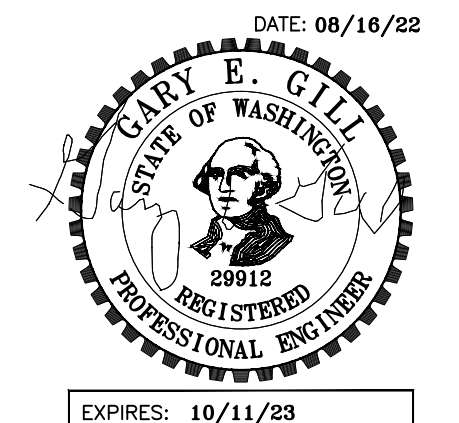
**TIE BACK NOTES:**

- INSTALLATION OF TIE BACKS INCLUDING TESTING SHALL BE IN ACCORDANCE WITH GEOTECH REPORT NOTED ON SHEET S1.0 AND PER THE TIE BACK INSTALLATION AND TESTING NOTES ON THIS SHEET.
- ALL TIE BACK COMPONENTS SHALL BE CORROSION PROTECTED FOR THE EXPECTED LIFE OF THE BUILDING STRUCTURE.

19 SOLDIER PILE AND TIE BACK SCHEDULES  
S1.3 SCALE: 3/4" = 1'-0"

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WEST VIEW RESIDENCE  
4045 WEST MERCER WAY  
MERCER ISLAND, WA 98040

CLIENT:  
FERAS ALROUK  
7683 SE 27th STREET UNIT #418  
MERCER ISLAND, WA 98040

ISSUE:  
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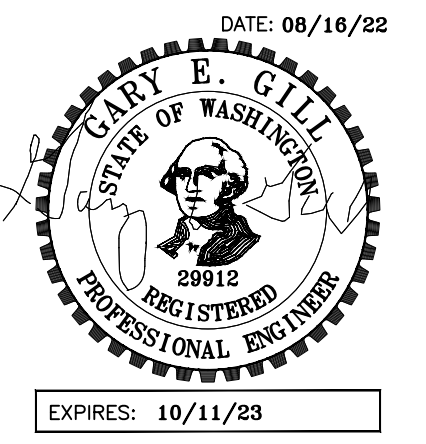
DATE:  
26 FEB 2022

SHEET TITLE:  
SHORING SCHED

& DETAILS

SHEET:  
S1.3





PROJECT:  
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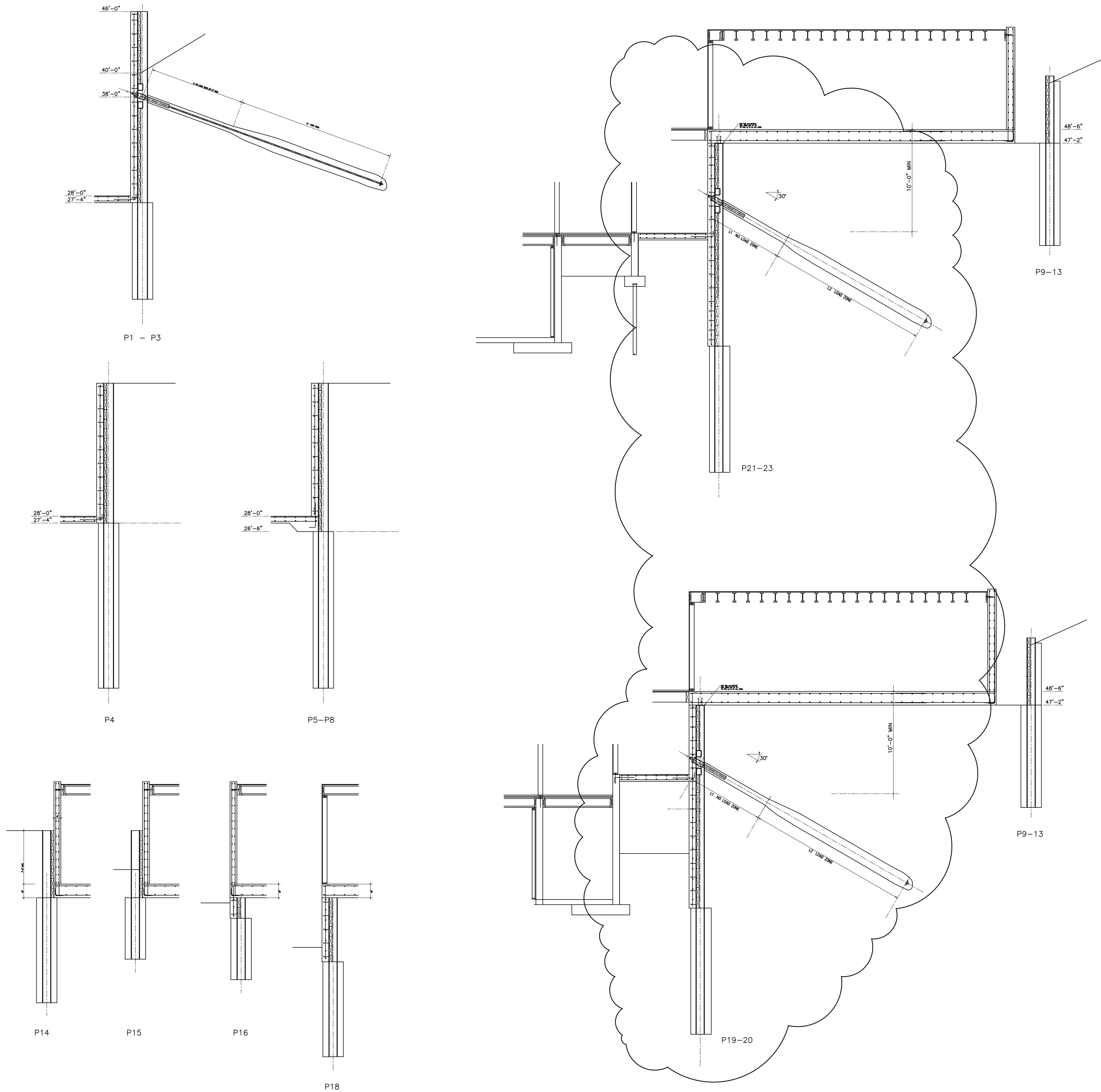
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DATE:  
**26 FEB 2022**

SHEET TITLE:  
 SHORING SECTIONS

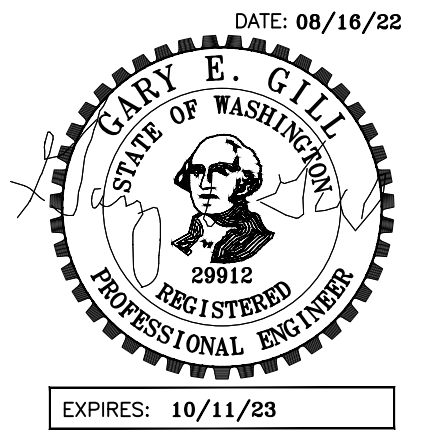
SHEET:  
**S1.4**





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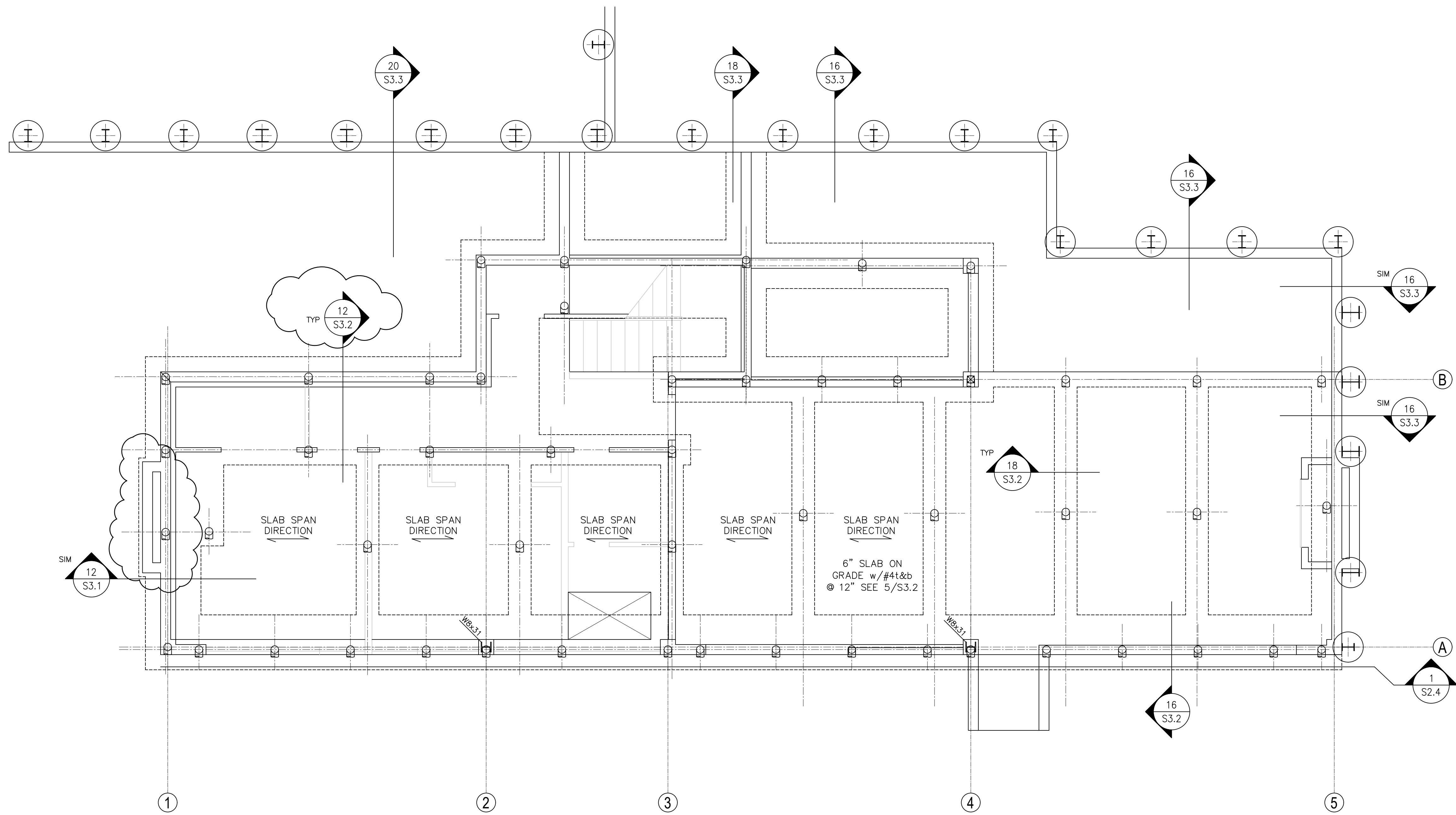
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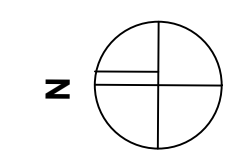


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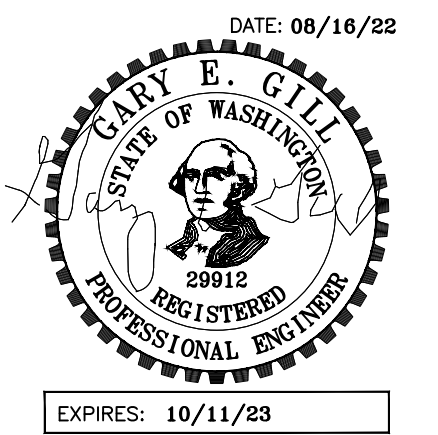
SHEET TITLE:  
 LOWER LEVEL

FOUNDATION PLAN  
 SHEET:

S2.0



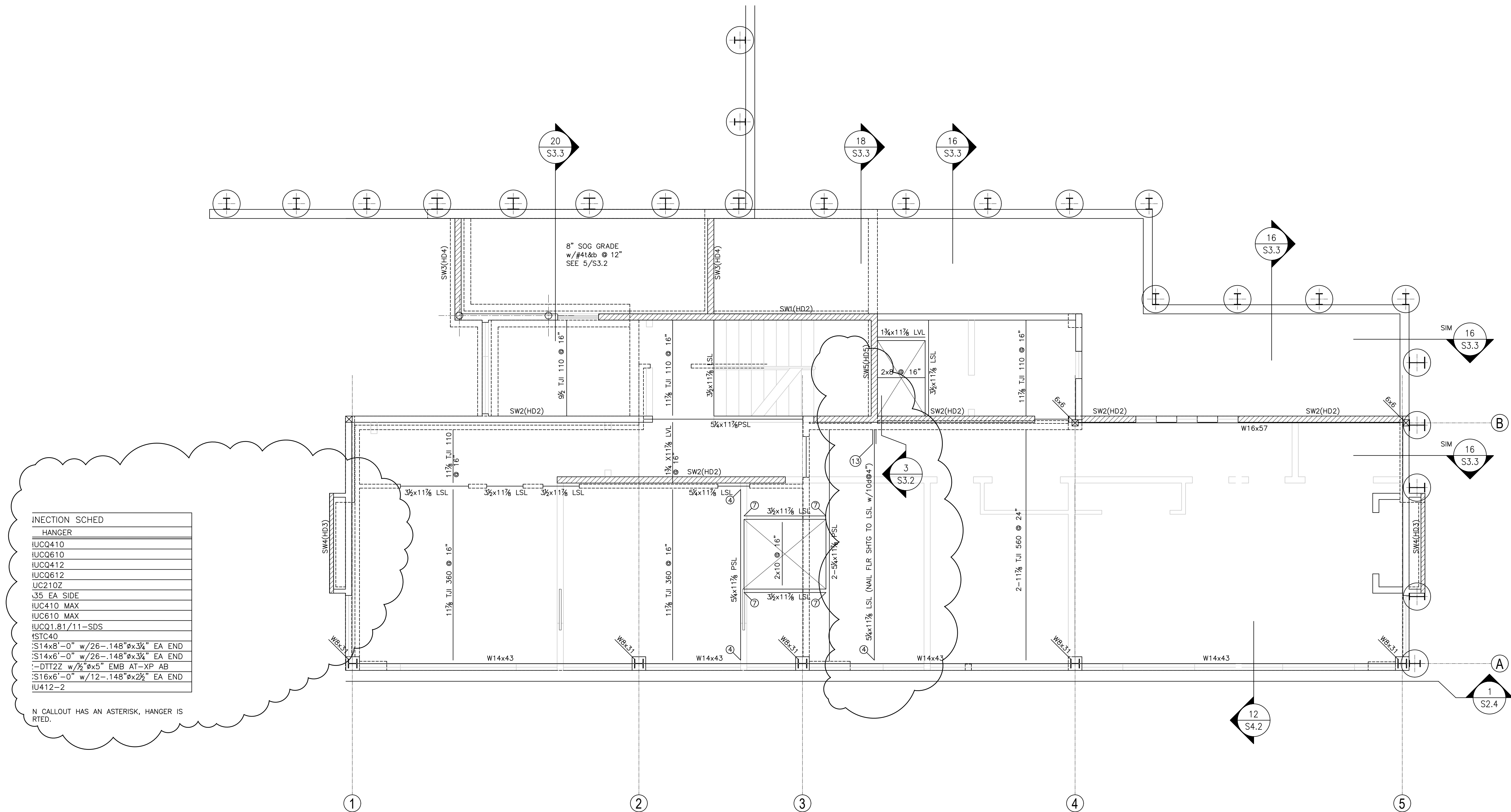




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INJECTION SCHED	
HANGER	
IUCQ410	
IUCQ610	
IUCQ412	
IUCQ612	
IUC210Z	
35 EA SIDE	
IUC410 MAX	
IUC610 MAX	
IUCQ1.81/11-SDS	
ISTC40	
S14x8'-0" w/26-.148"Øx3¼" EA END	
S14x6'-0" w/26-.148"Øx3¼" EA END	
-DIT2Z w/½"Øx5" EMB AT-XP AB	
S16x6'-0" w/12-.148"Øx2½" EA END	
IU412-2	

N CALLOUT HAS AN ASTERISK, HANGER IS RTED.

1 MAIN LEVEL FRAMING PLAN z

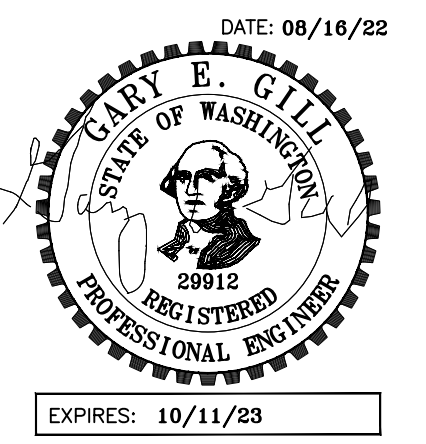
DATE:  
 26 FEB 2022

SHEET TITLE:  
 MAIN LEVEL

FRAMING PLAN

SHEET:  
 S2.1

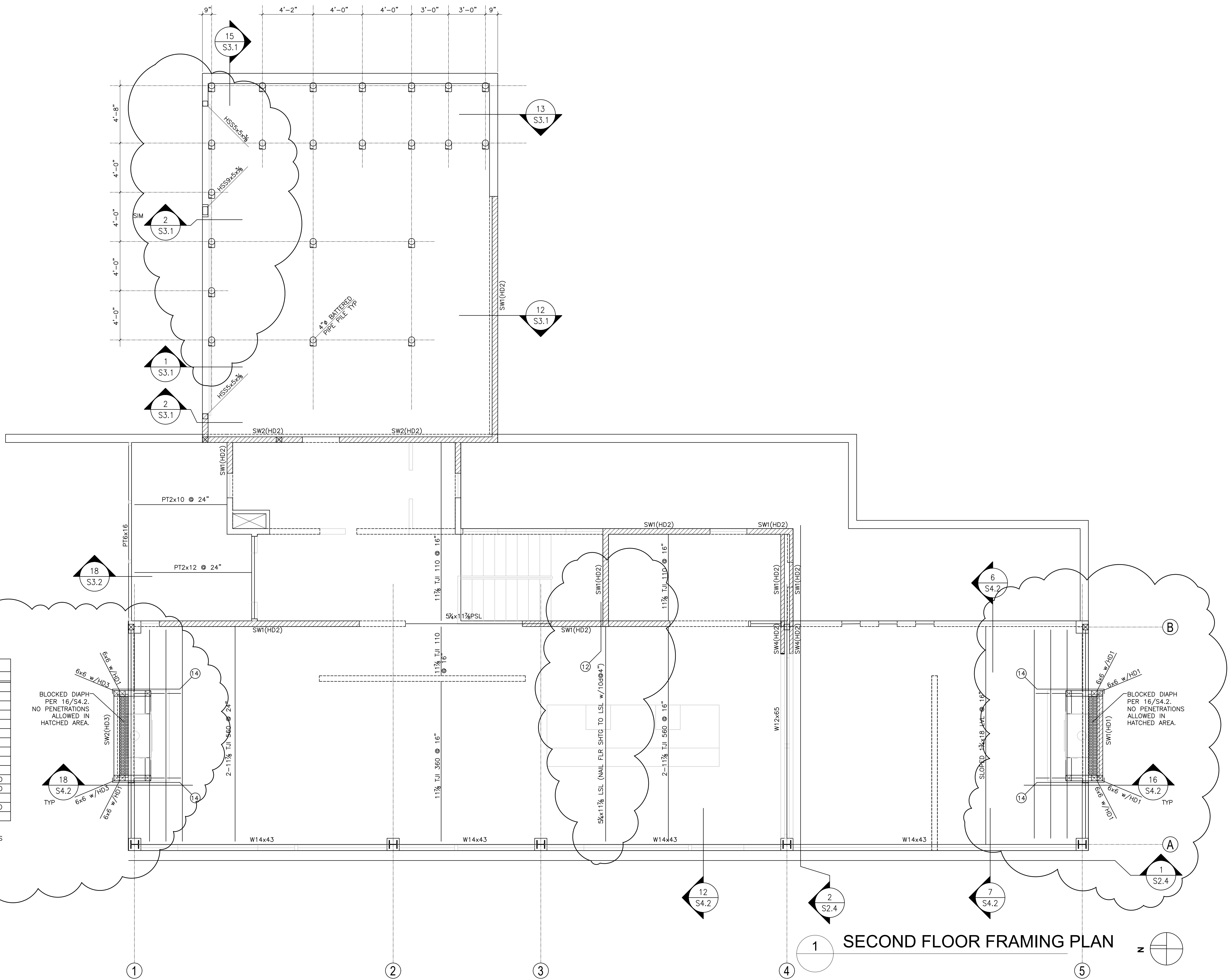




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MARK	HANGER
1	HUCQ410
2	HUCQ610
3	HUCQ412
4	HUCQ612
5	LUC210Z
6	A35 EA SIDE
7	HUC410 MAX
8	HUC610 MAX
9	HUCQ1.81/11-SDS
10	MSTC40
11	CS14x8'-0" w/26-.148"Øx3/4" EA END
12	CS14x6'-0" w/26-.148"Øx3/4" EA END
13	2-DTT2Z w/1/2"Øx5" EMB AT-XP AB
14	CS16x6'-0" w/12-.148"Øx2 1/2" EA END
15	HU412-2

1 SECOND FLOOR FRAMING PLAN z

DATE:  
 26 FEB 2022

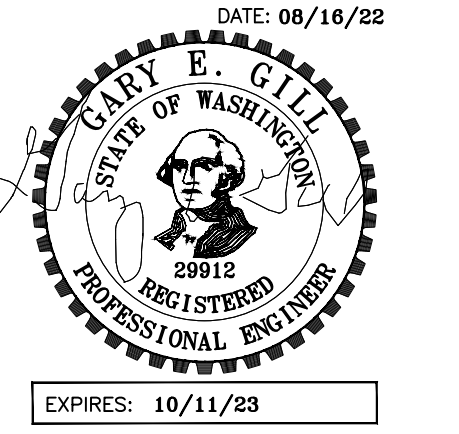
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 SECOND FLOOR

FRAMING PLAN

SHEET:  
 S2.2



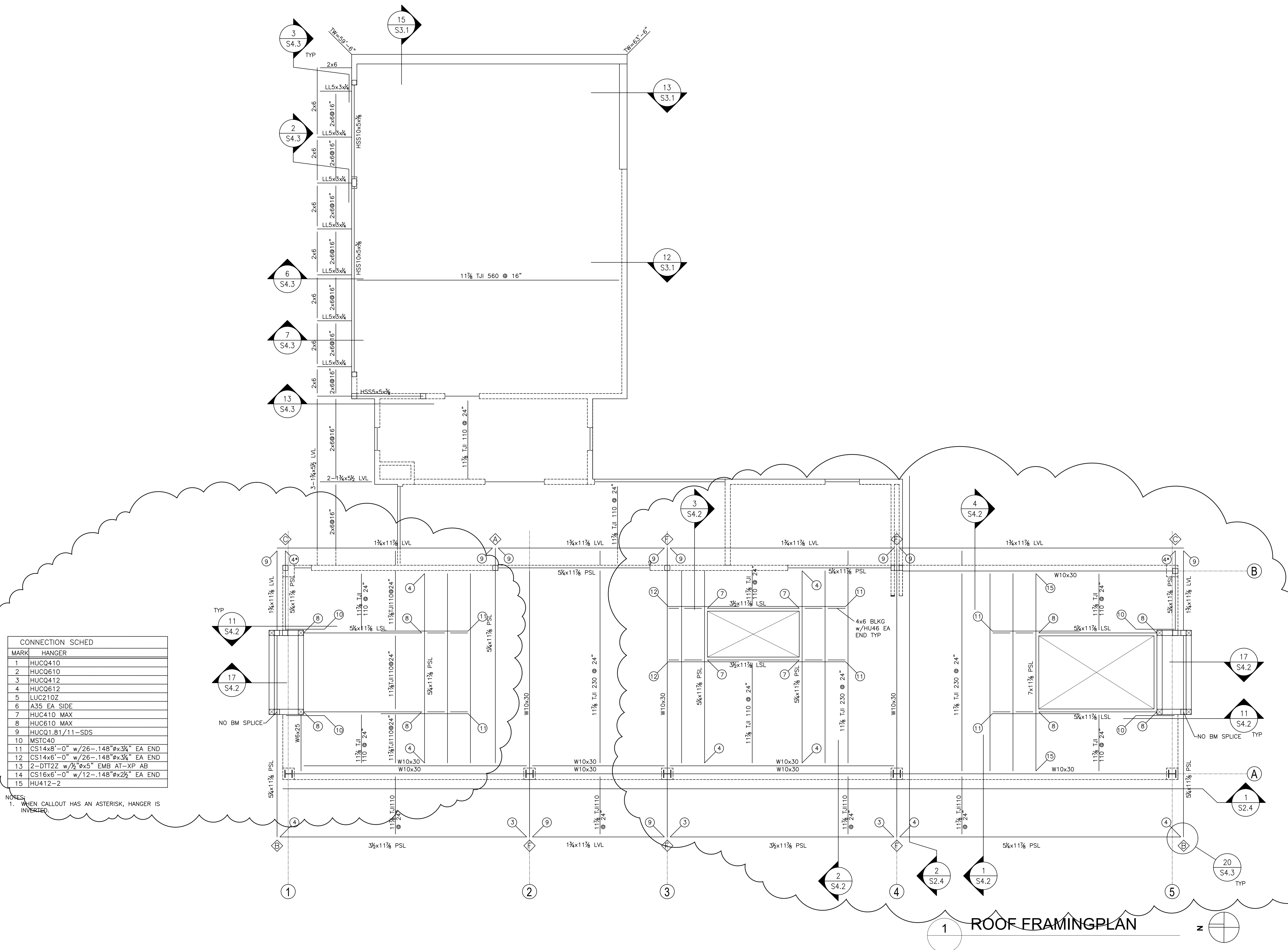
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MARK	HANGER
1	HUCQ410
2	HUCQ610
3	HUCQ412
4	HUCQ612
5	LUC210Z
6	A35 EA SIDE
7	HUC410 MAX
8	HUC610 MAX
9	HUCQ1.81/11-SDS
10	MSTC40
11	CS14x8'-0" w/26-.148"Øx3 3/4" EA END
12	CS14x6'-0" w/26-.148"Øx3 3/4" EA END
13	2-DIT22 w/1/2"Øx5" EMB AT-XP AB
14	CS16x6'-0" w/12-.148"Øx2 1/2" EA END
15	HU412-2

NOTES:  
 1. WHEN CALLOUT HAS AN ASTERISK, HANGER IS INVERTED.

DATE:  
**26 FEB 2022**  
 SHEET TITLE:  
 ROOF FRAMING  
 PLAN  
 SHEET:



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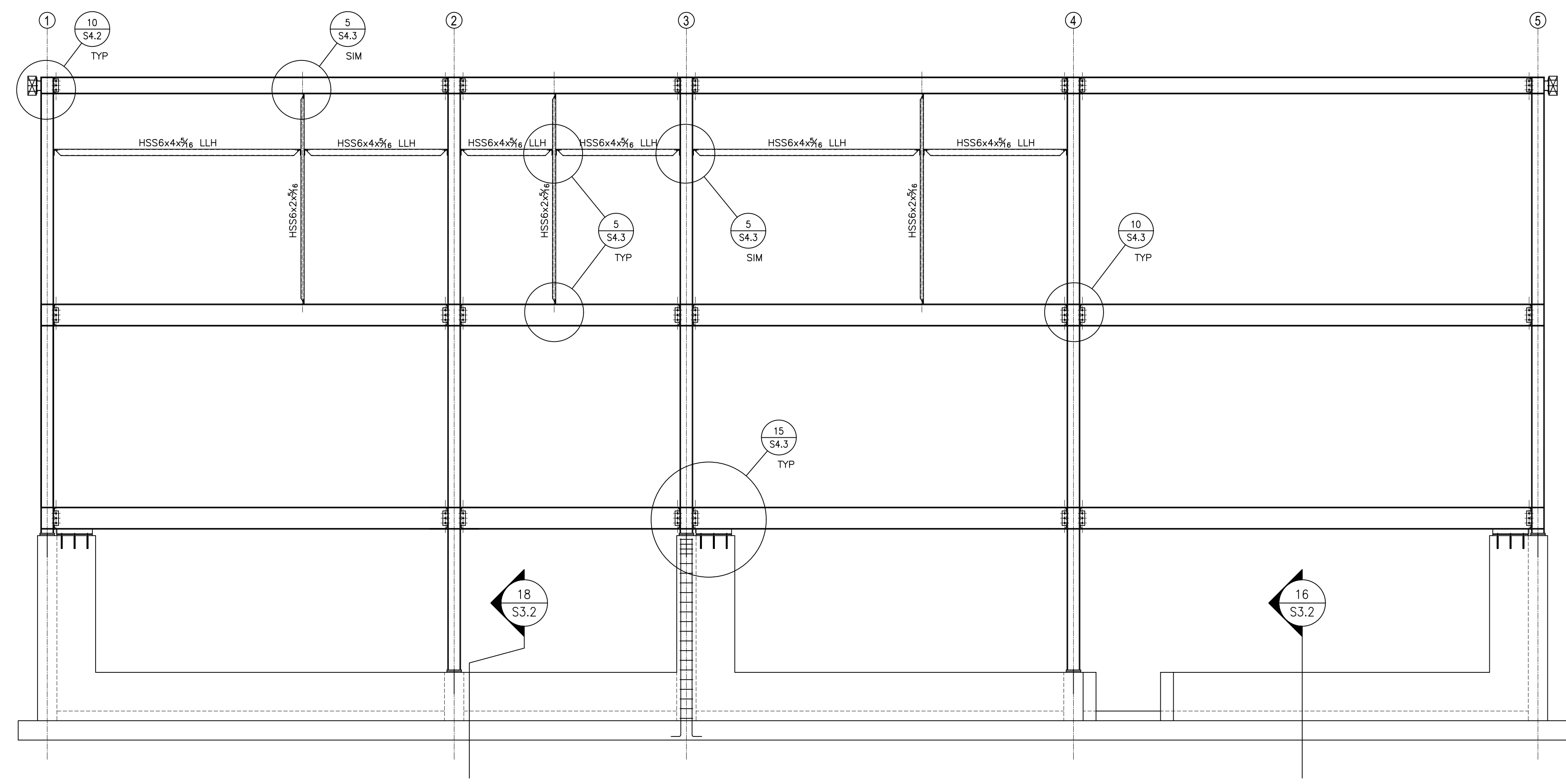
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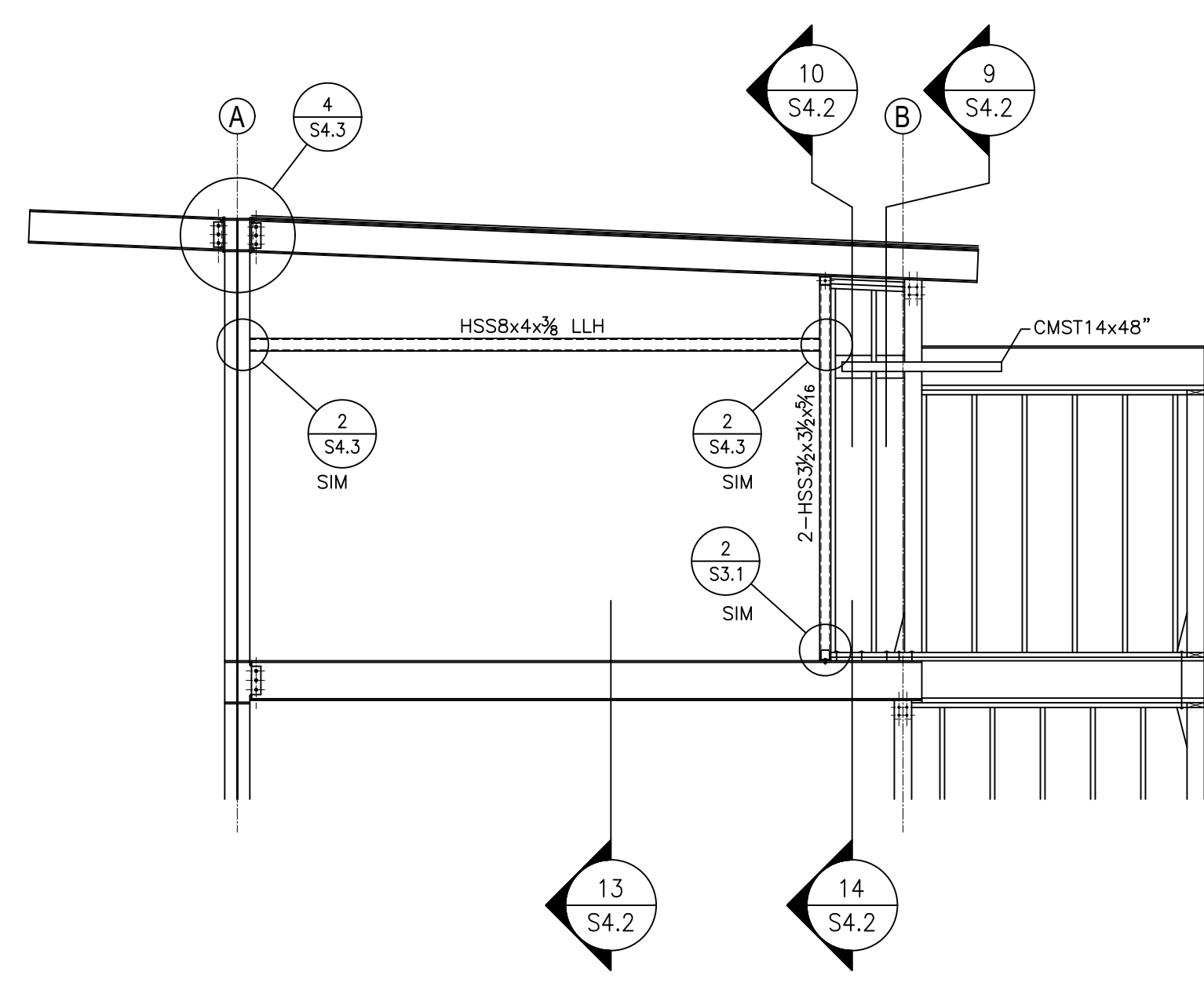
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1 FRAMING ELEV LINE A



2 FRAMING ELEV LINE 4

DATE:  
**26 FEB 2022**

SHEET TITLE:  
 FRAMING

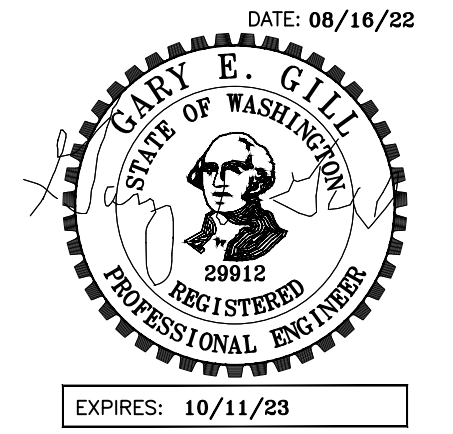
ELEVATIONS  
 SHEET:

S2.4



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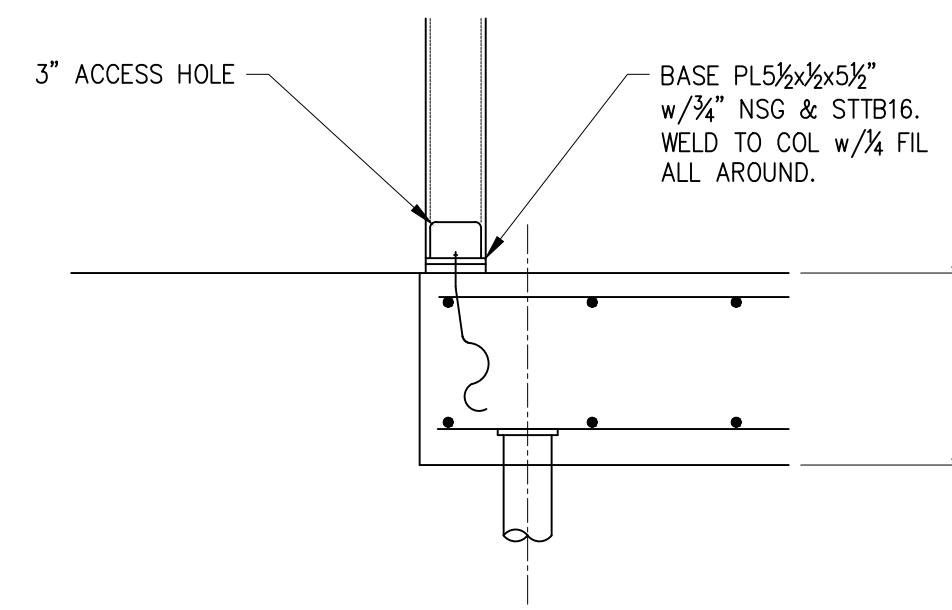
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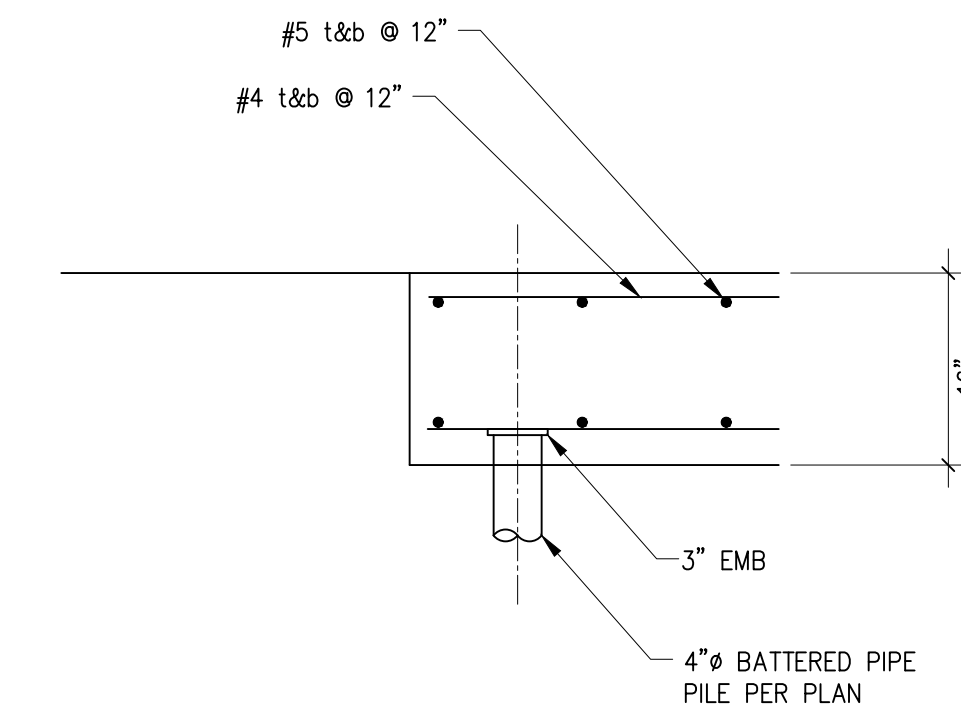
SHEET TITLE:  
 FOUNDATION

DETAILS  
 SHEET:

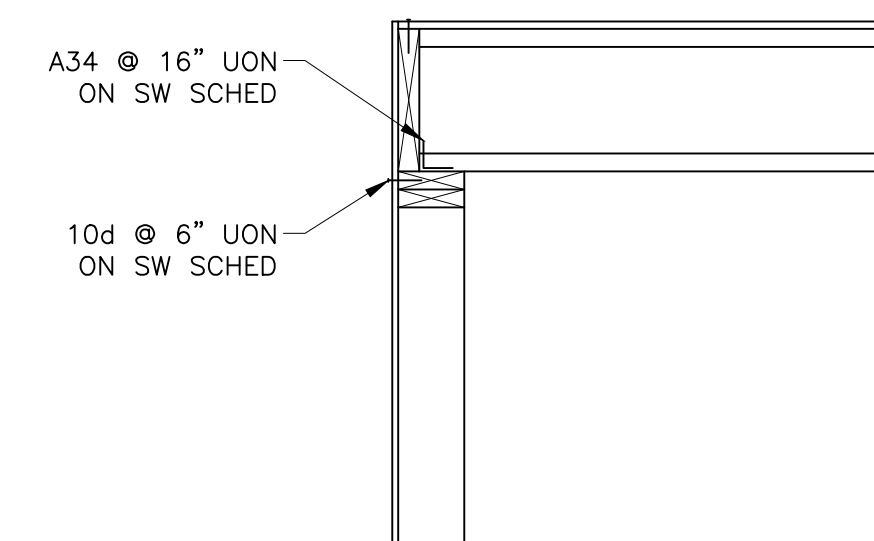
S3.1



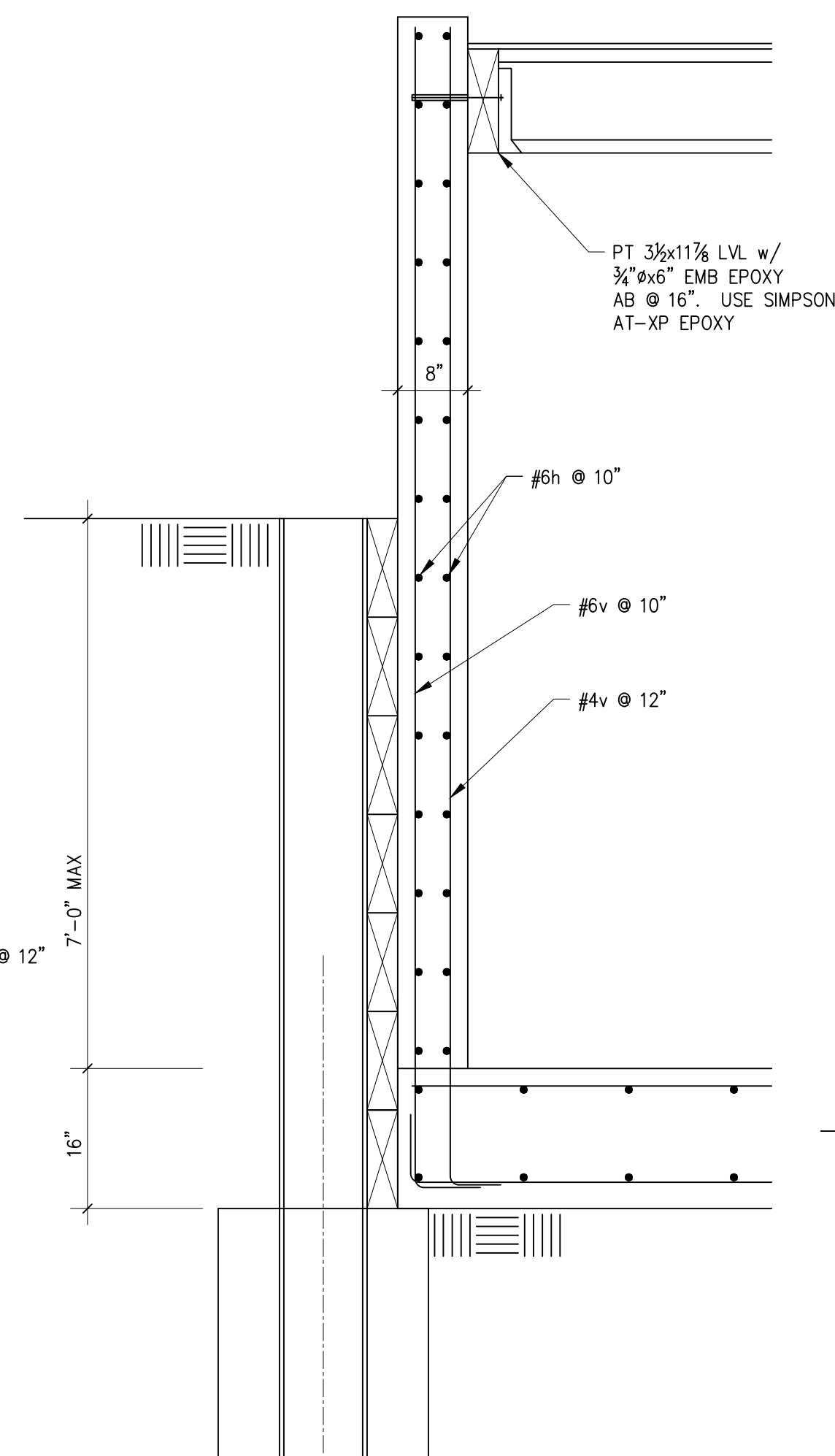
2 SECTION  
 S3.1 SCALE: 3/4" = 1'-0"



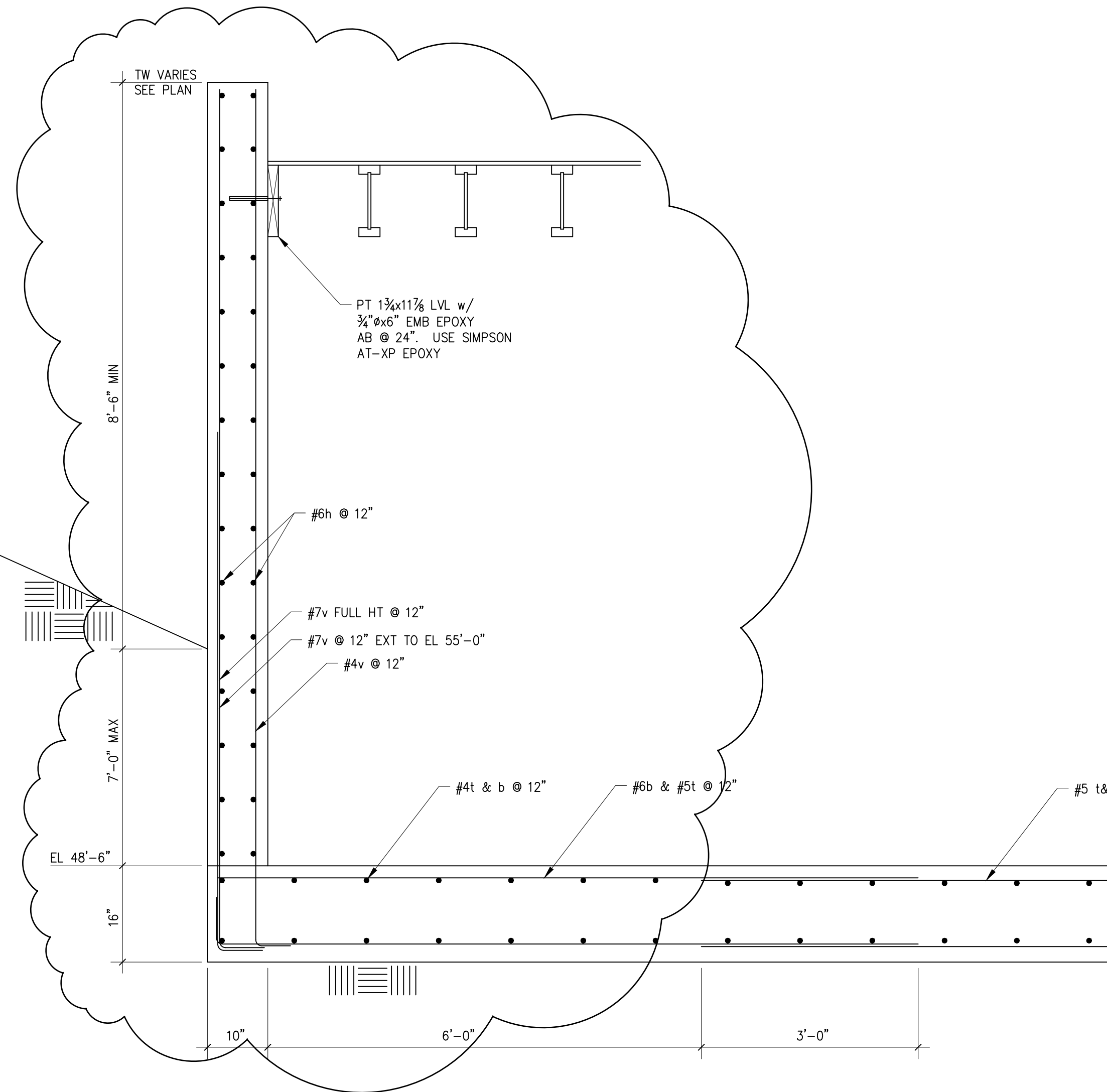
1 SECTION  
 S3.1 SCALE: 3/4" = 1'-0"



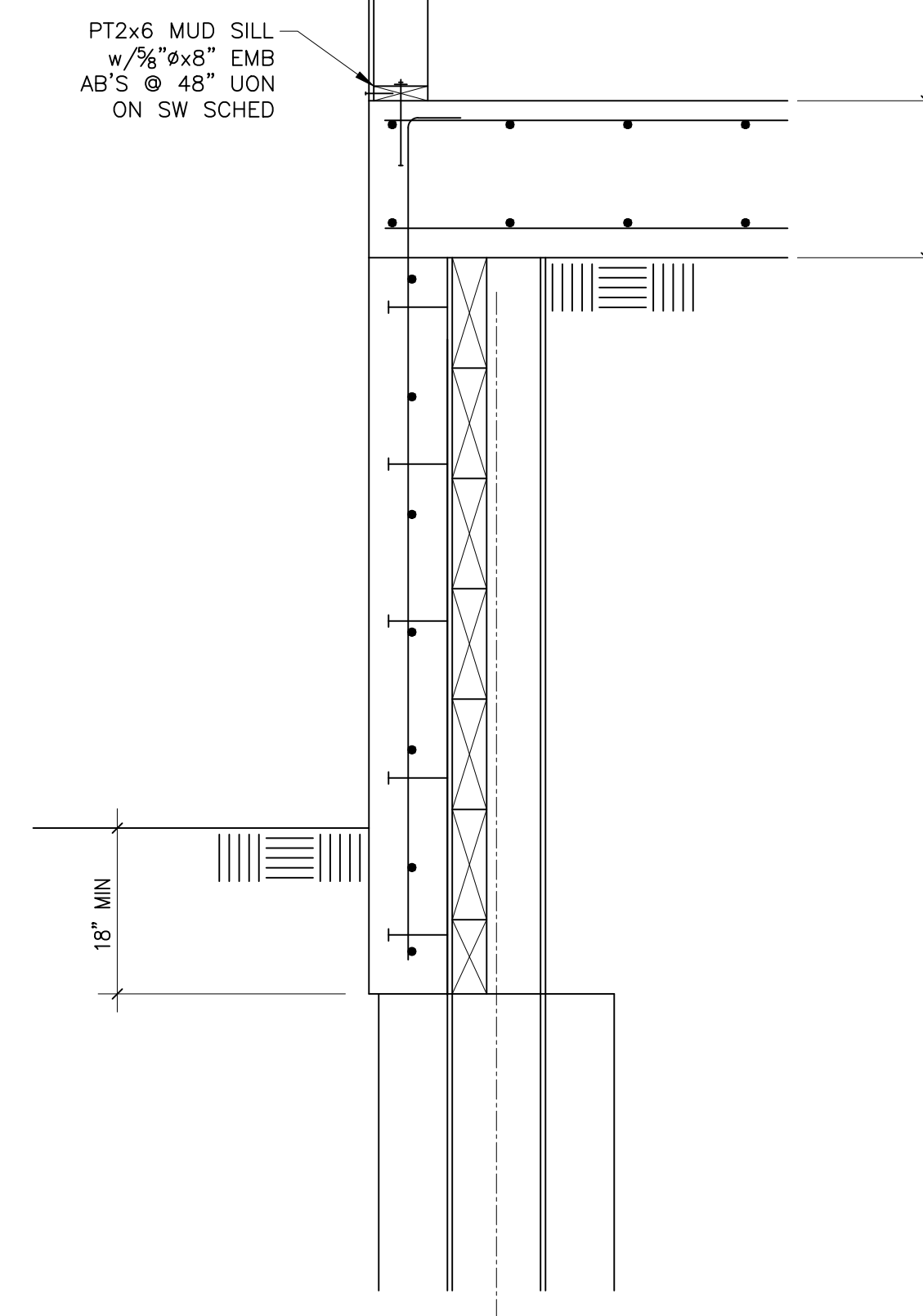
12 SECTION  
 S3.1 SCALE: 3/4" = 1'-0"



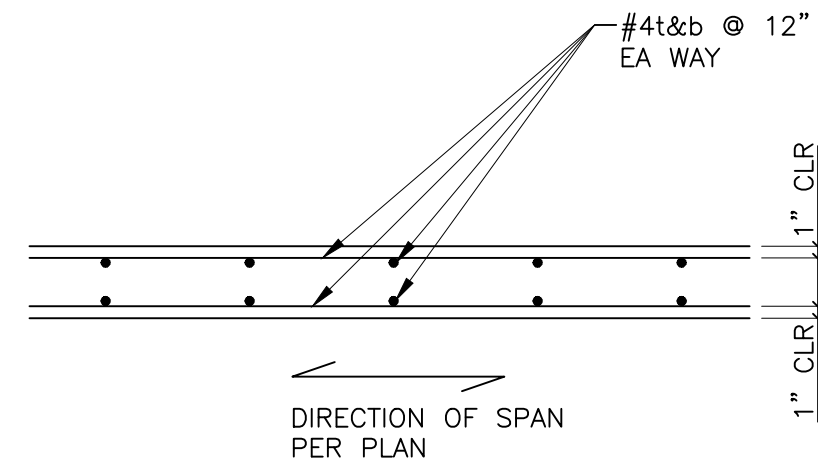
13 SECTION  
 S3.1 SCALE: 3/4" = 1'-0"



15 SECTION  
 S3.1 SCALE: 3/4" = 1'-0"

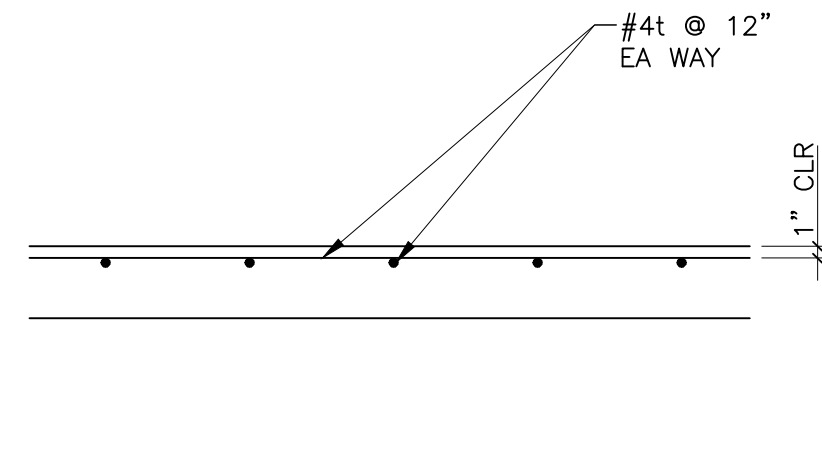




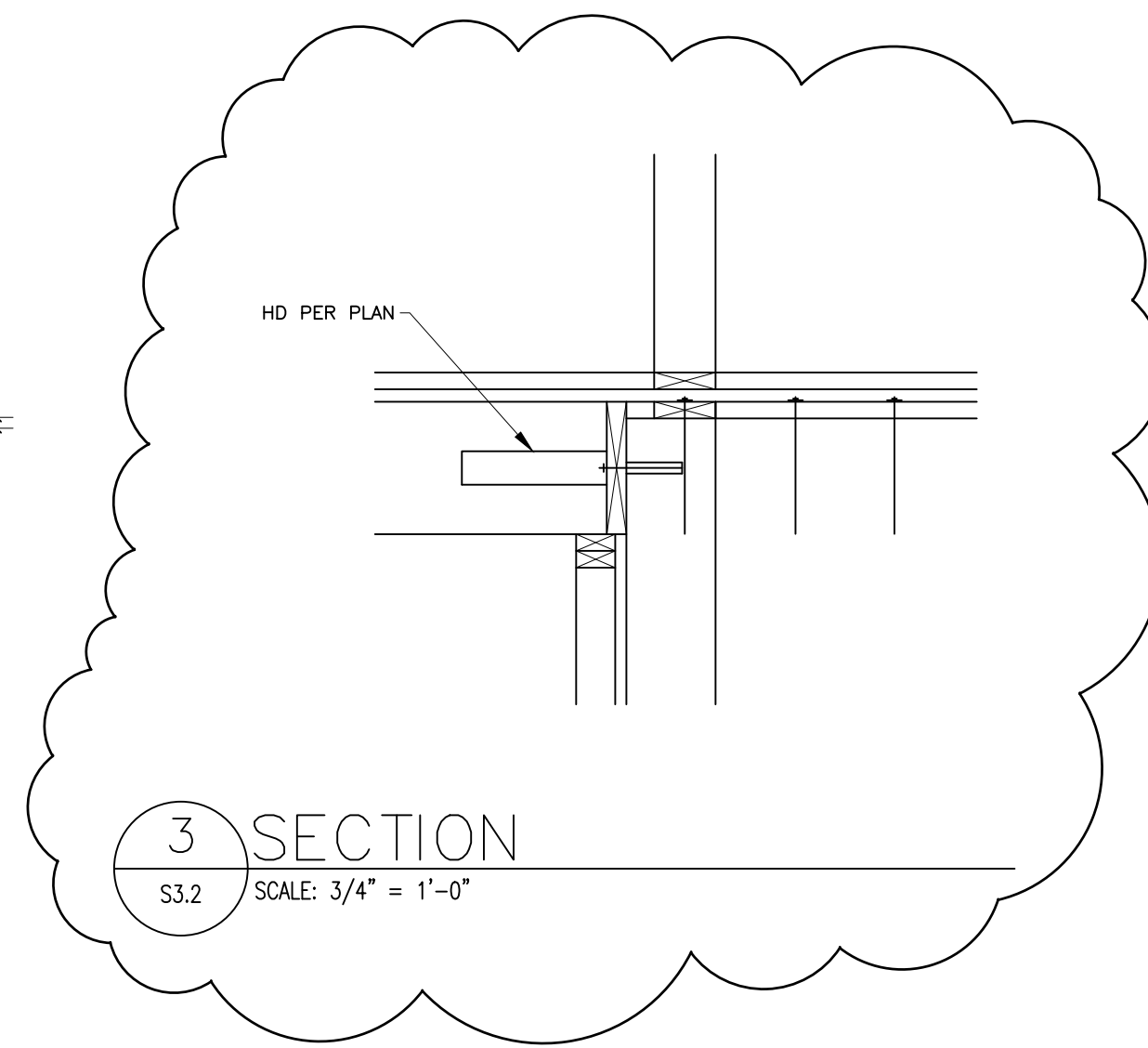


- NOTES:  
 1. OPTIONAL LAP SPLICE TOP BARS 24" @ MIDSPAN.  
 2. OPTIONAL LAP SPLICE BOT BARS 12" @ GRADE BM.

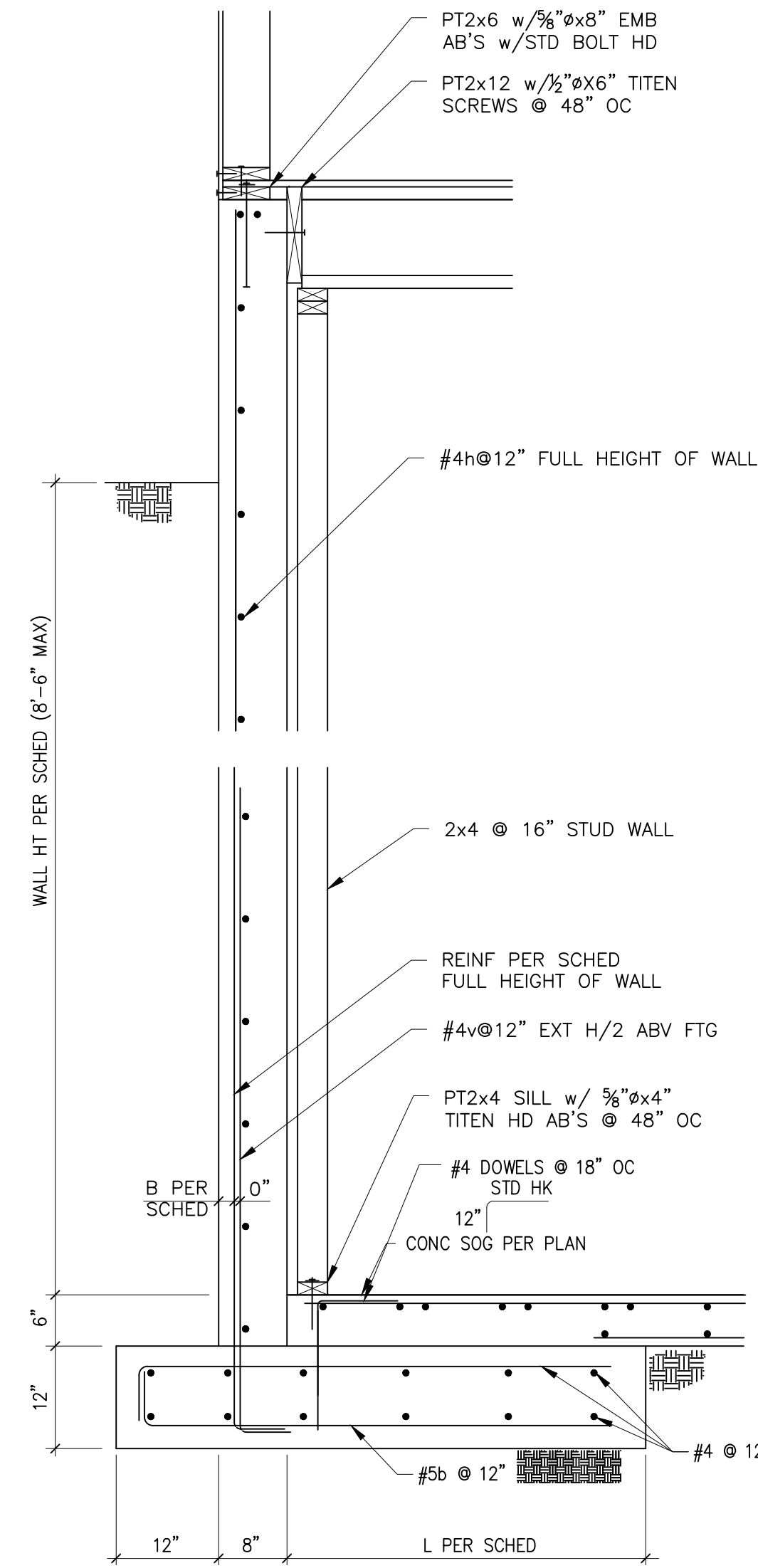
5 TYP PILE SUPP SOG  
 S3.2 SCALE: 3/4" = 1'-0"



4 TYP SLAB ON GRADE  
 S3.2 SCALE: 3/4" = 1'-0"



3 SECTION  
 S3.2 SCALE: 3/4" = 1'-0"



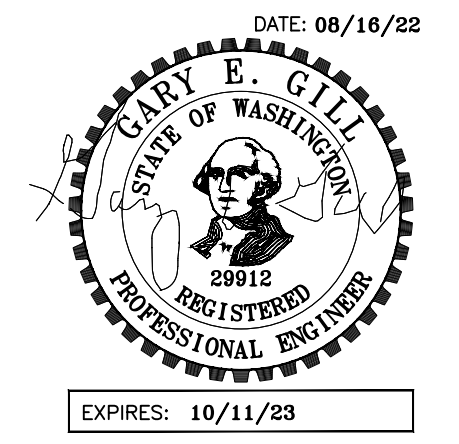
RETAINING WALL SCHEDULE

WALL HT	"L"	"B"	REINF
2'-0"	1'-0"	4"	#4v@12"
4'-0"	2'-0"	4"	#4v@12"
6'-0"	4'-0"	4"	#4v@12"
8'-6"	5'-0"	2"	#5v@12"

- RETAINING WALL SCHED NOTES  
 1. #4v@12 THAT EXTEND H/2 MAY BE OMITTED @ WALLS 4'-0" OR LESS IN HEIGHT.

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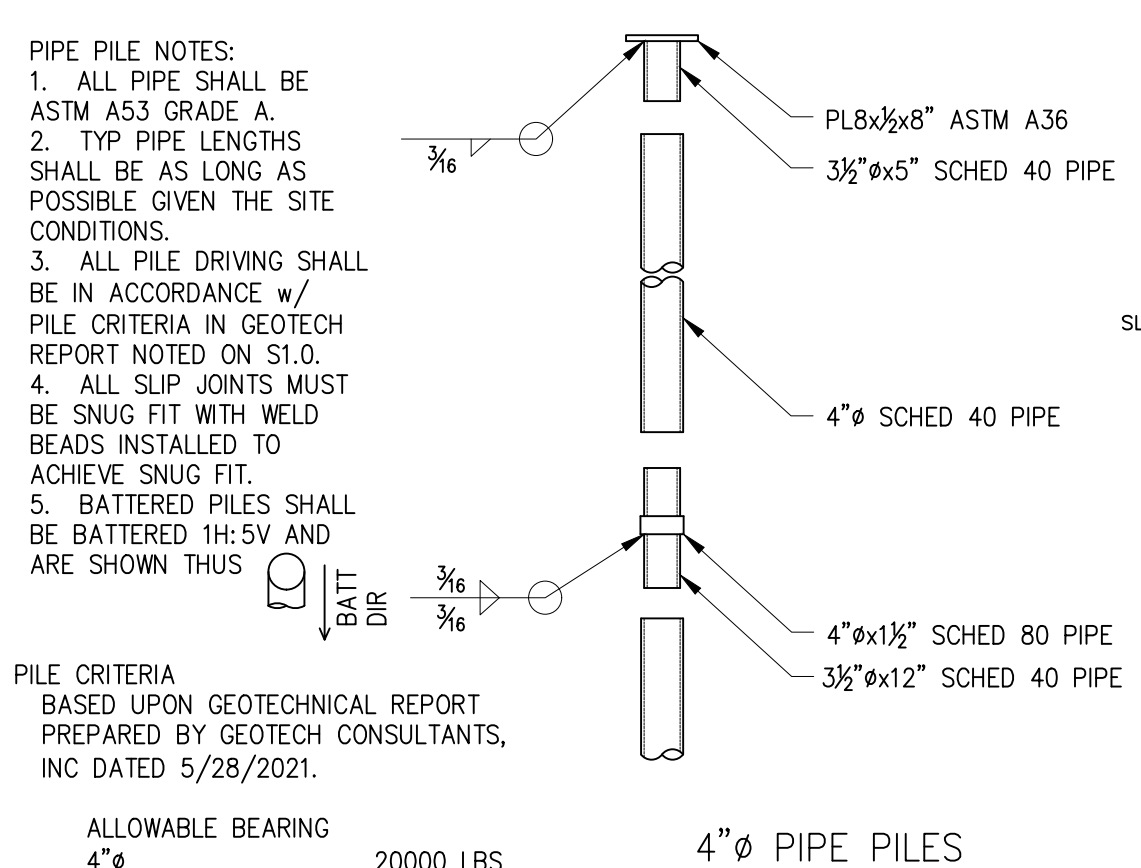
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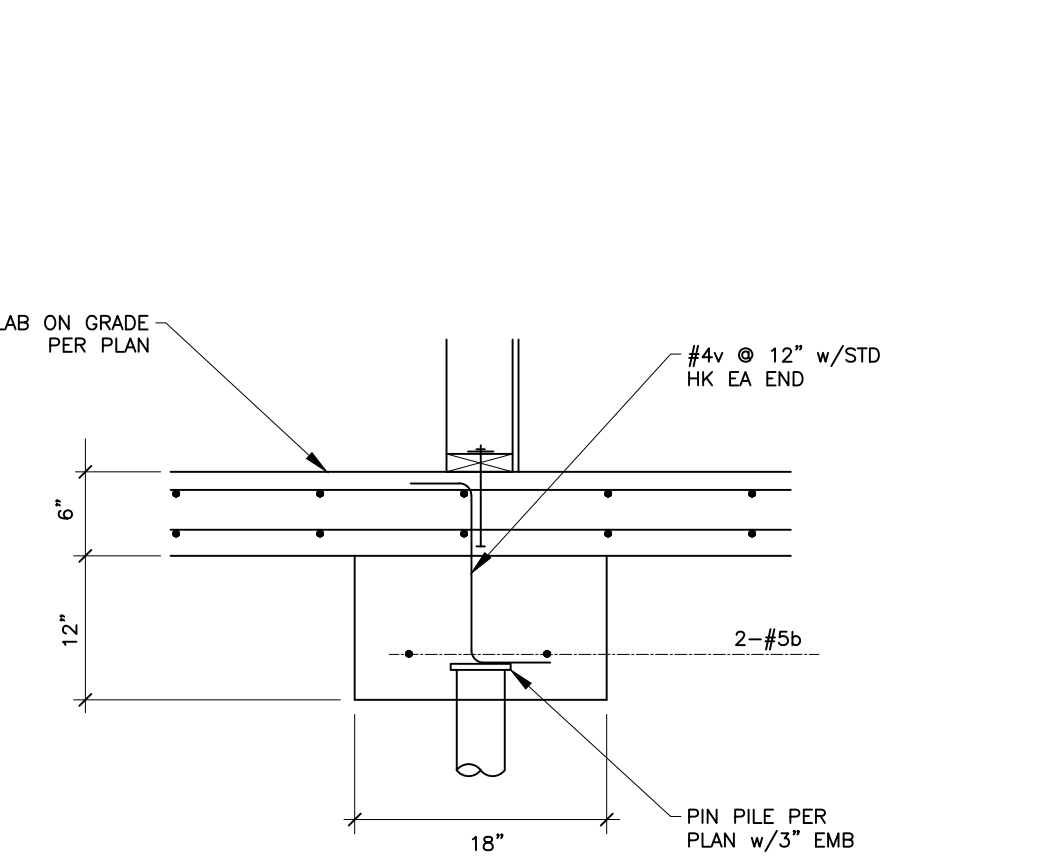
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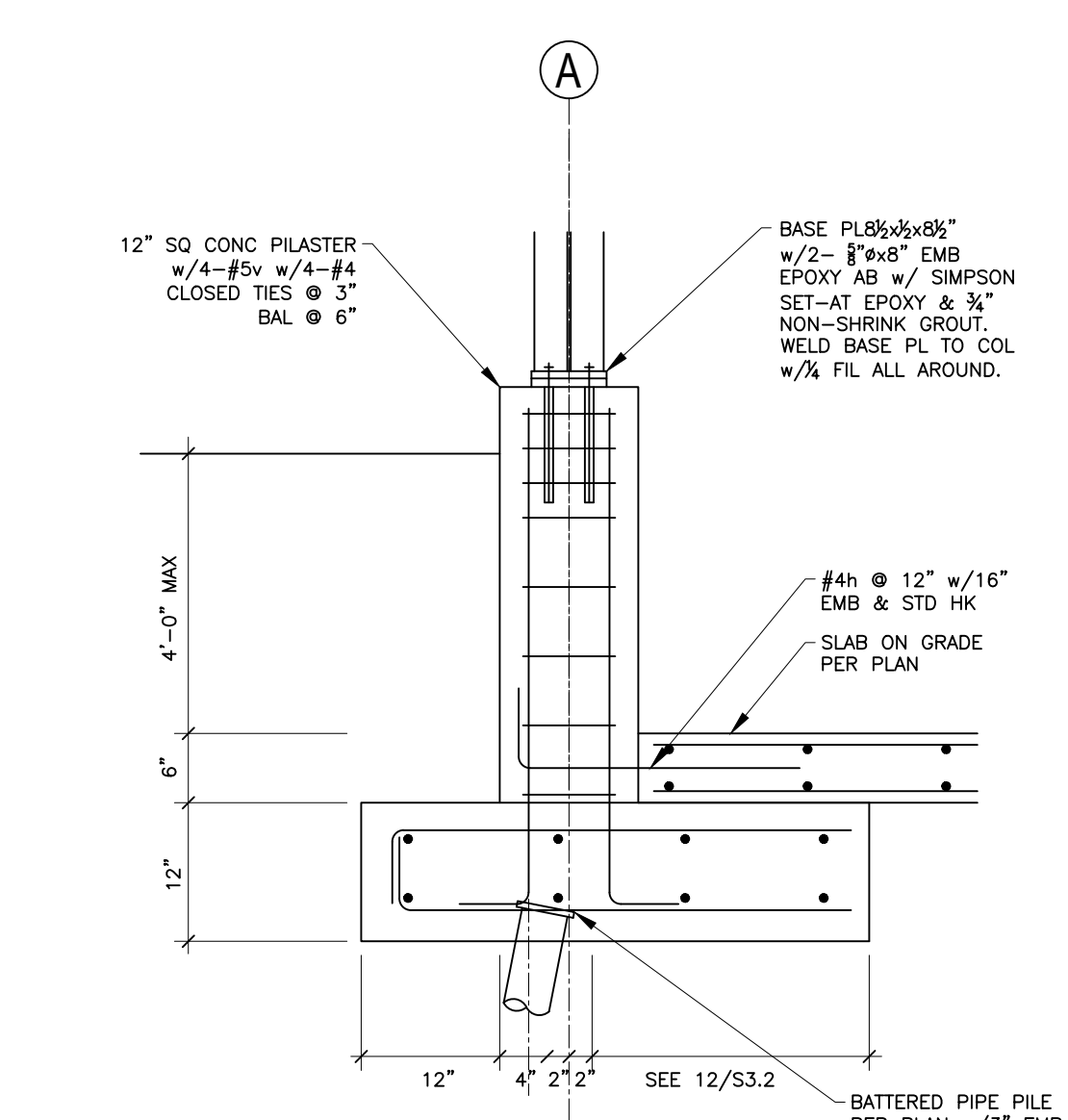
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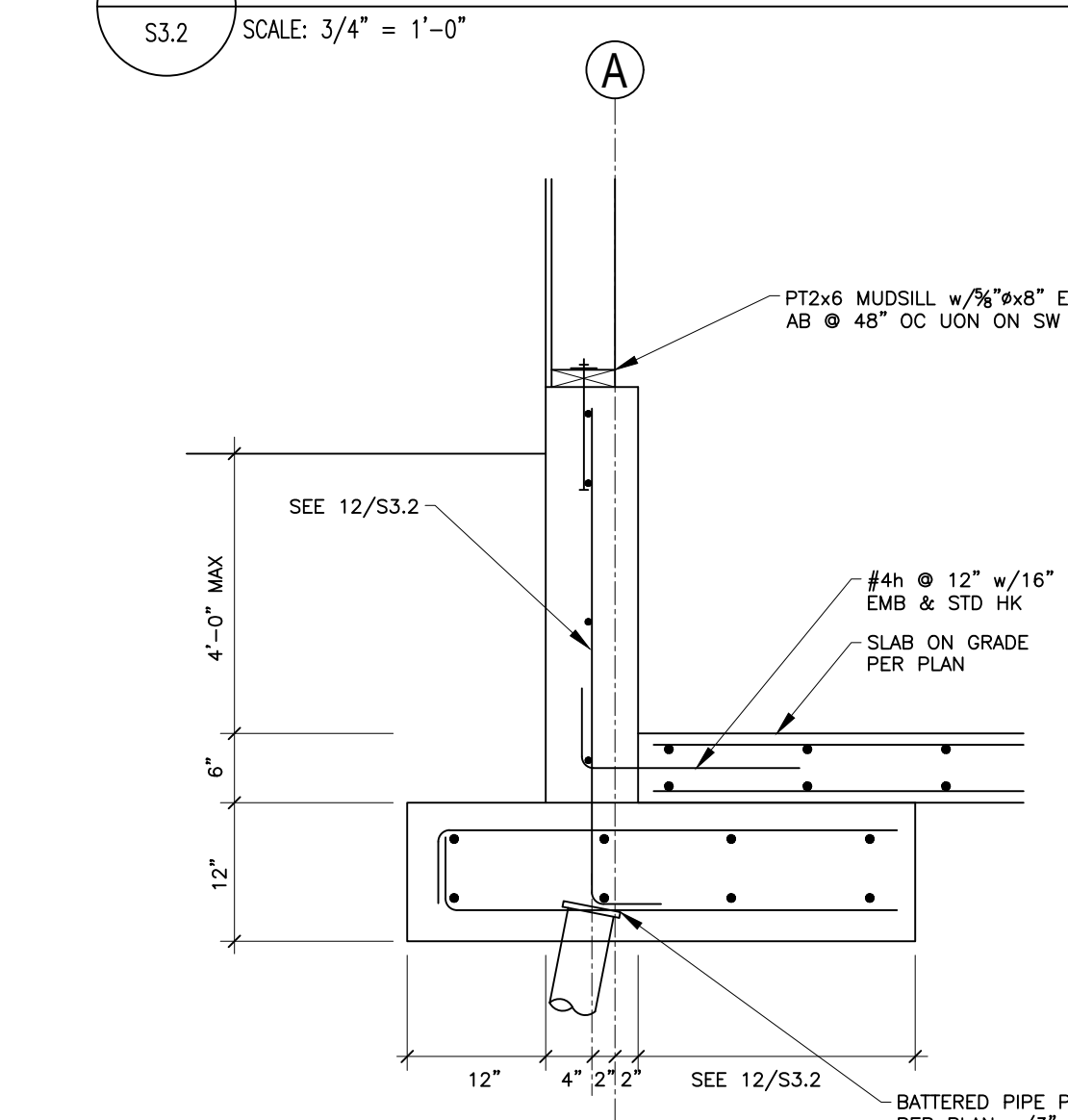
20 TYP PIPE PILE DETAILS  
 S3.2 SCALE: 3/4" = 1'-0"



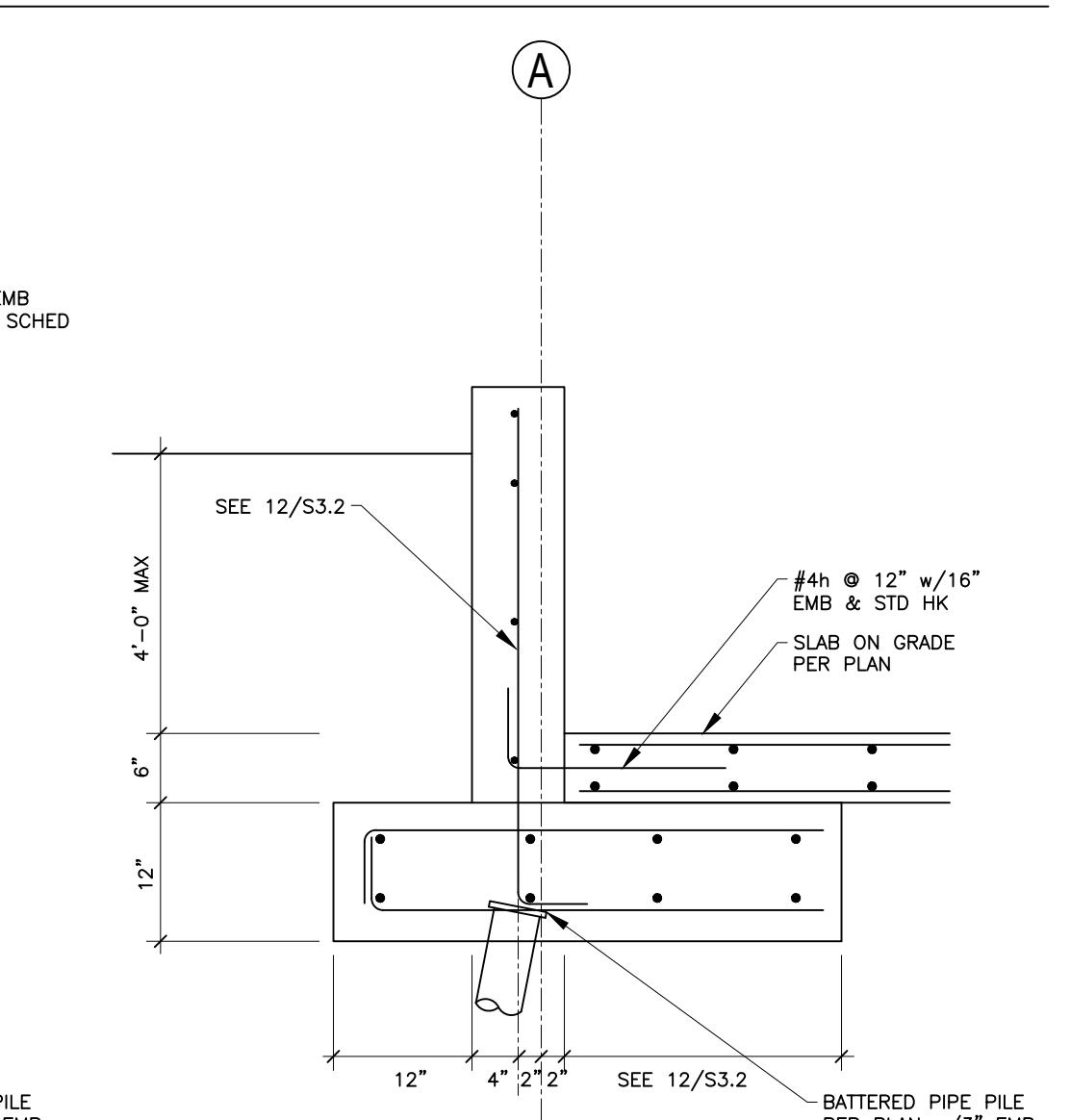
19 SECTION  
 S3.2 SCALE: 3/4" = 1'-0"



18 SECTION  
 S3.2 SCALE: 3/4" = 1'-0"



17 SECTION  
 S3.2 SCALE: 3/4" = 1'-0"



16 SECTION  
 S3.2 SCALE: 3/4" = 1'-0"

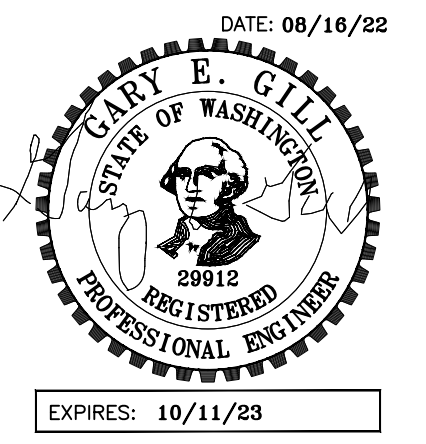
DATE:  
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SHEET TITLE:  
 FOUNDATION

DETAILS  
 SHEET:

S3.2





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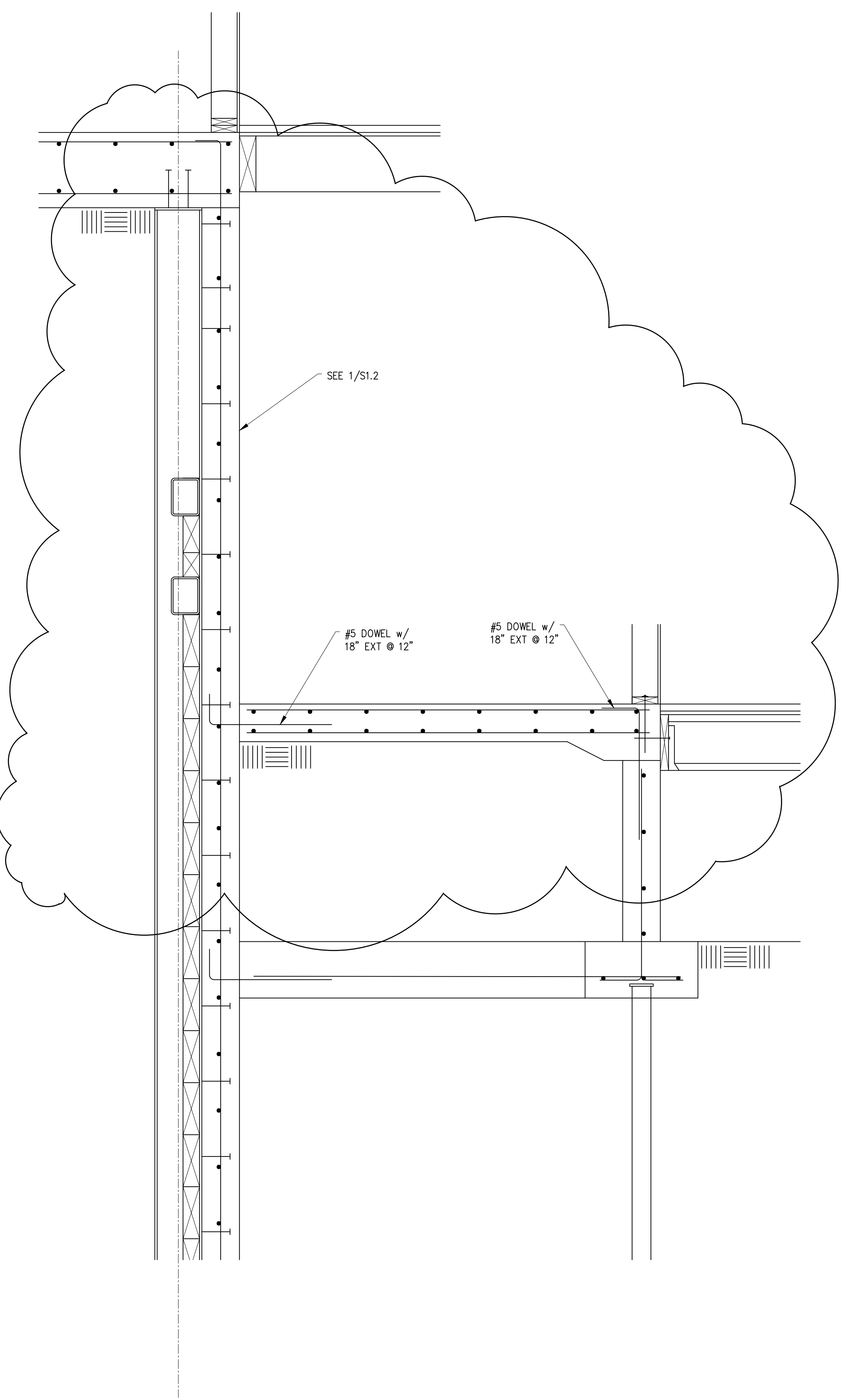
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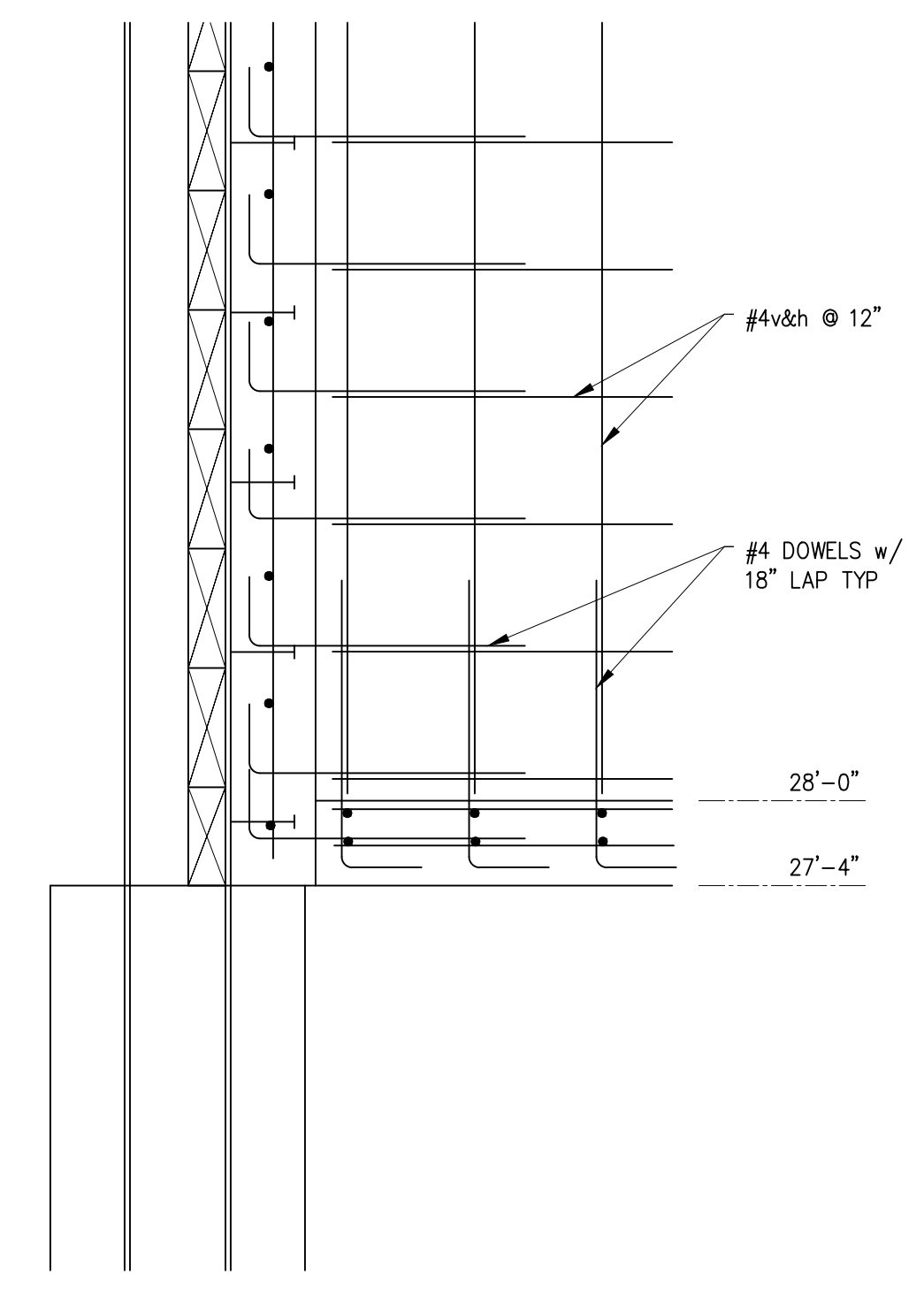
DATE:  
**26 FEB 2022**

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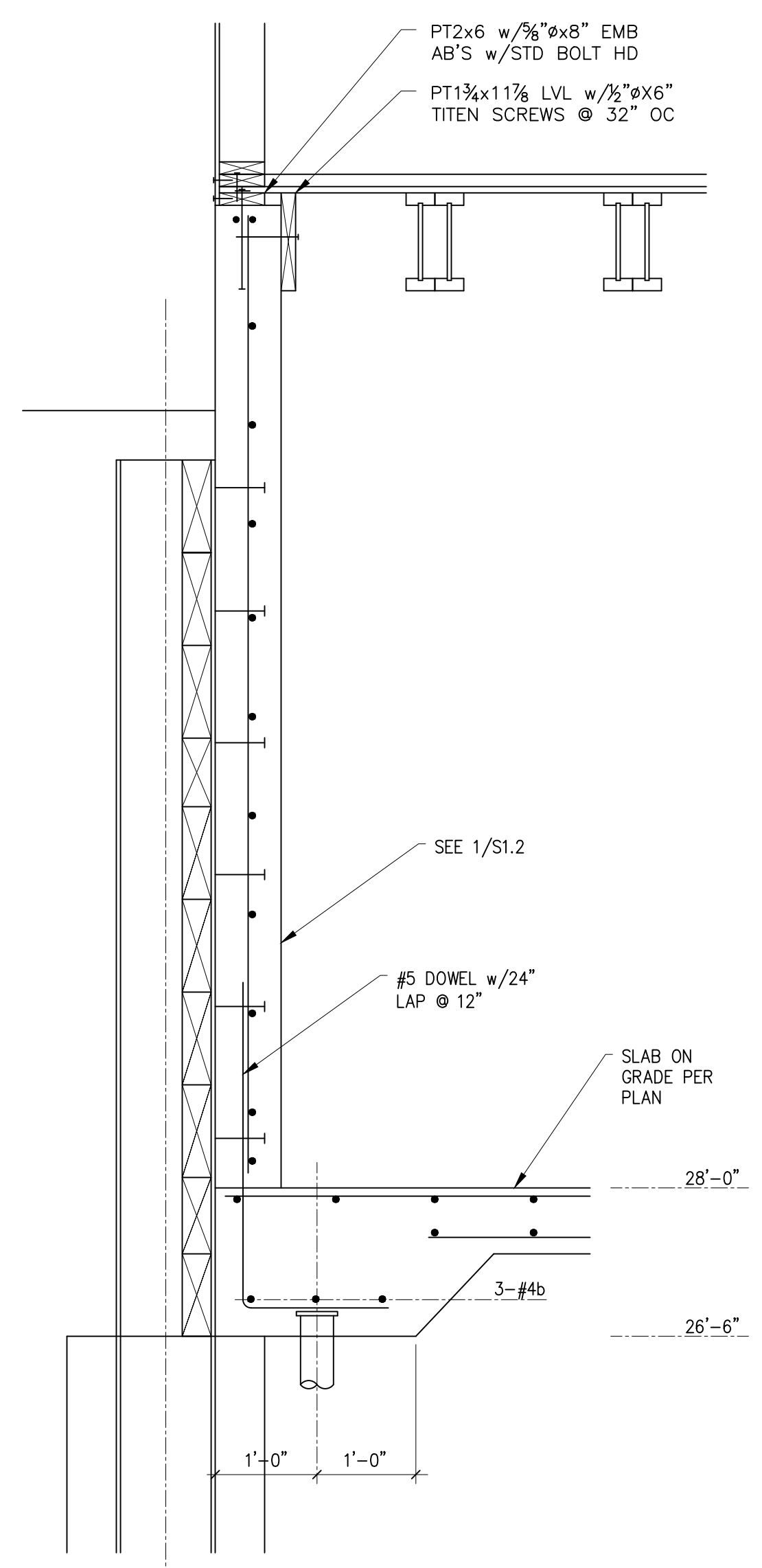
DETAILS  
 SHEET:  
**S3.3**



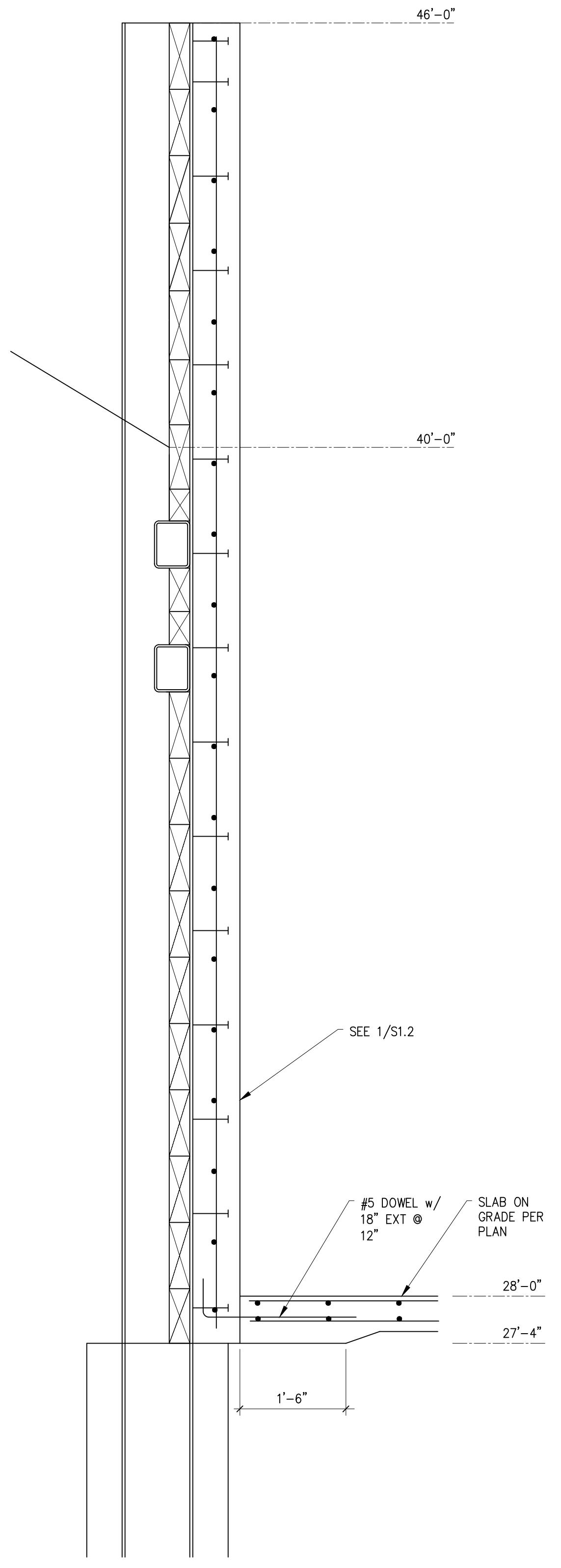
**20** SECTION  
 S3.3 SCALE: 3/4" = 1'-0"



**18** SECTION  
 S3.3 SCALE: 3/4" = 1'-0"

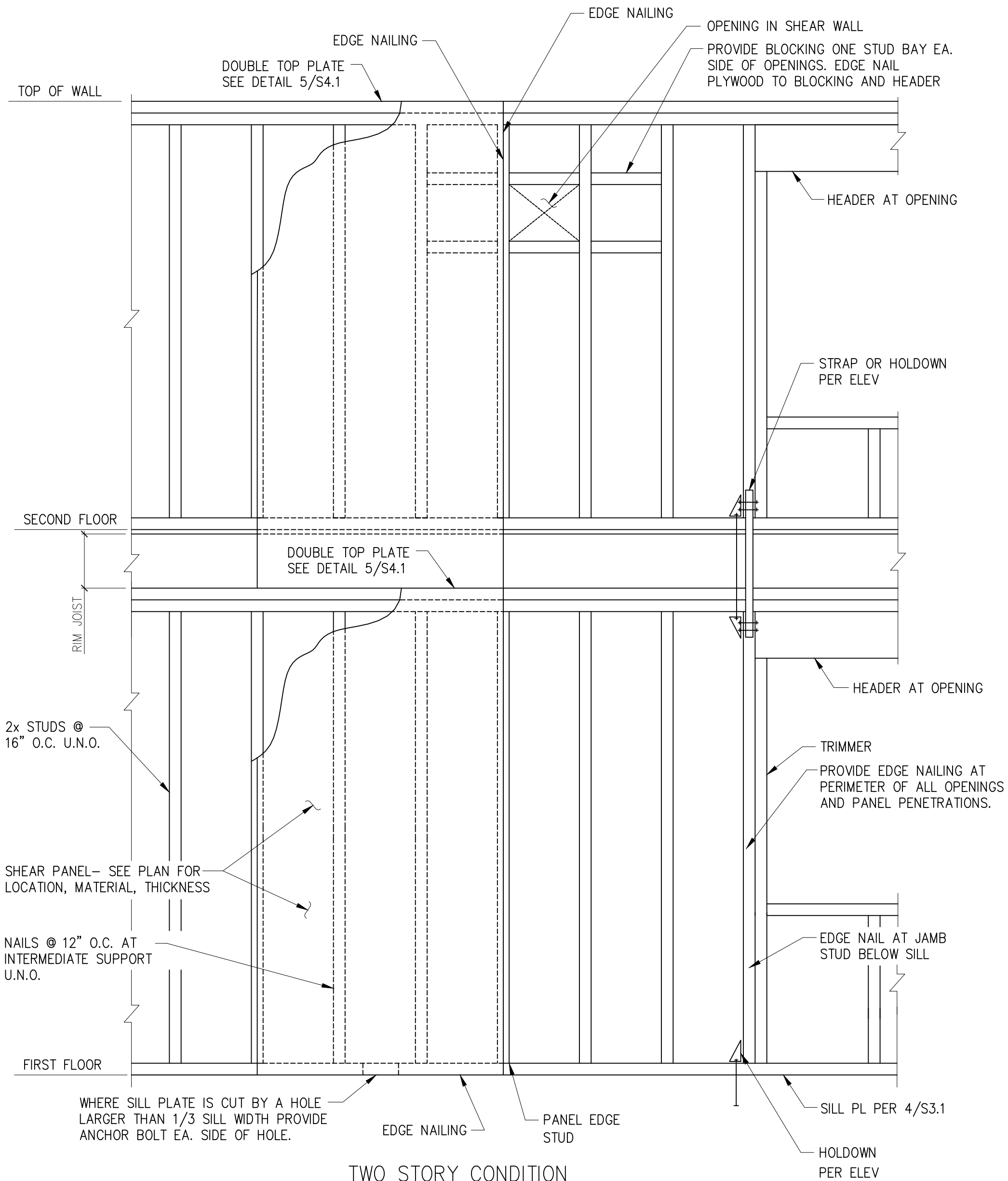


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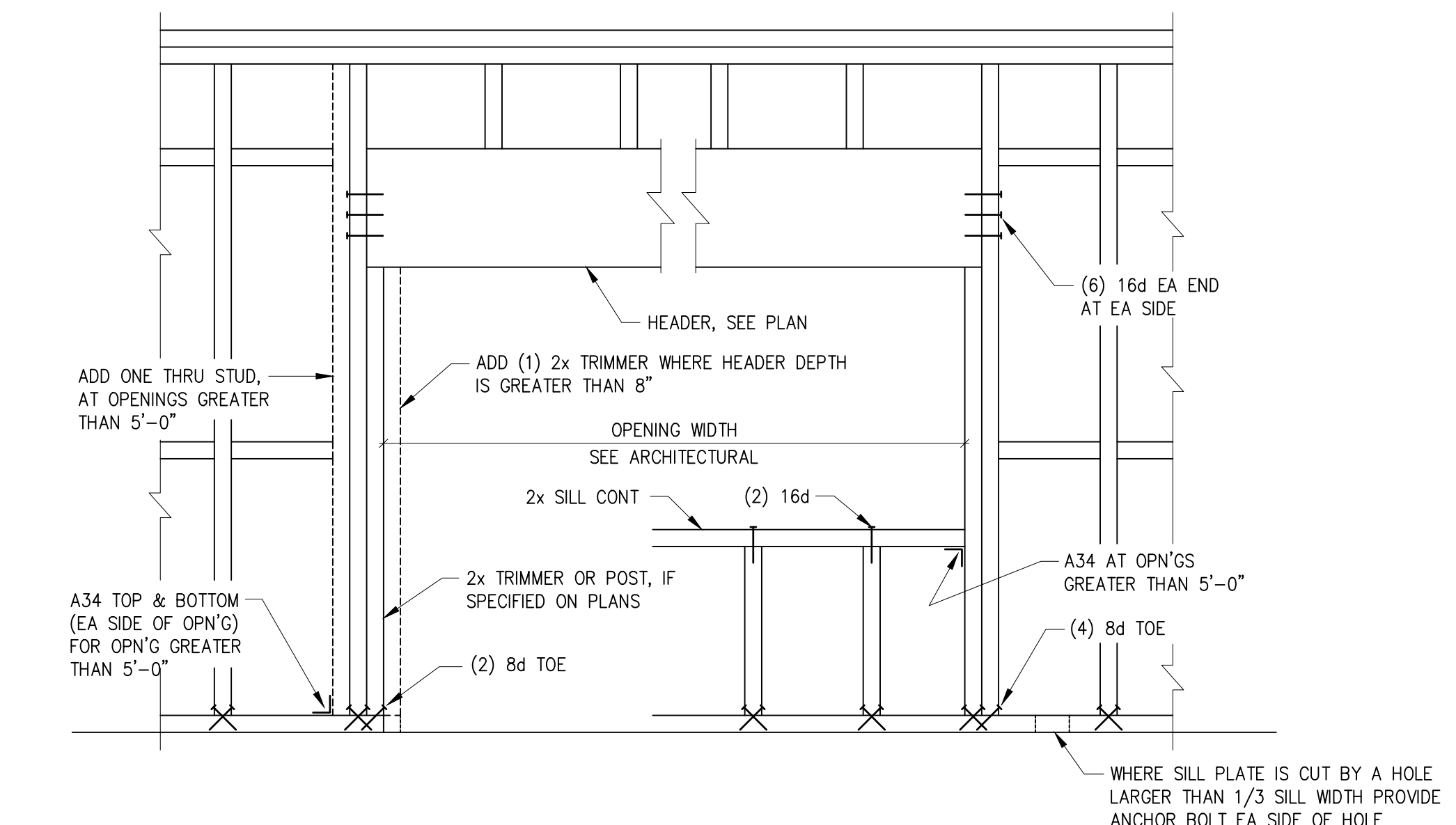


**16** SECTION  
 S3.3 SCALE: 3/4" = 1'-0"

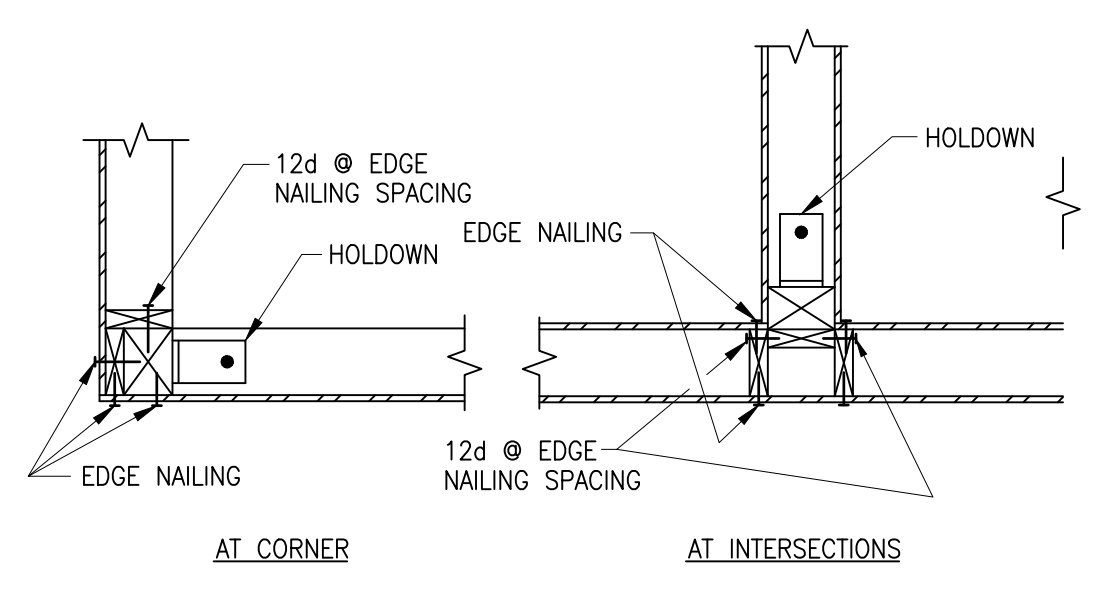




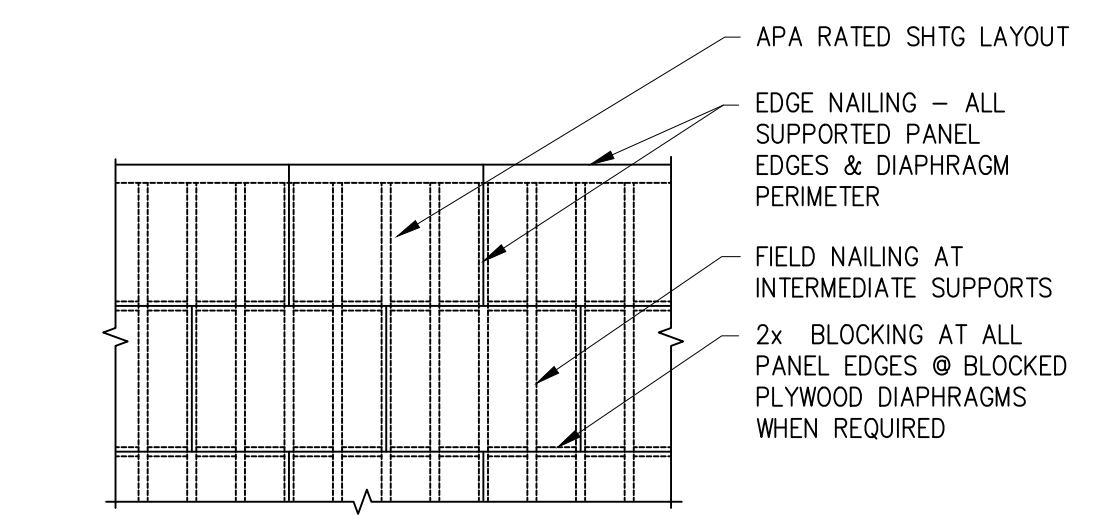
1 SHEAR WALL ELEVATION  
S4.1 SCALE: 3/4" = 1'-0"



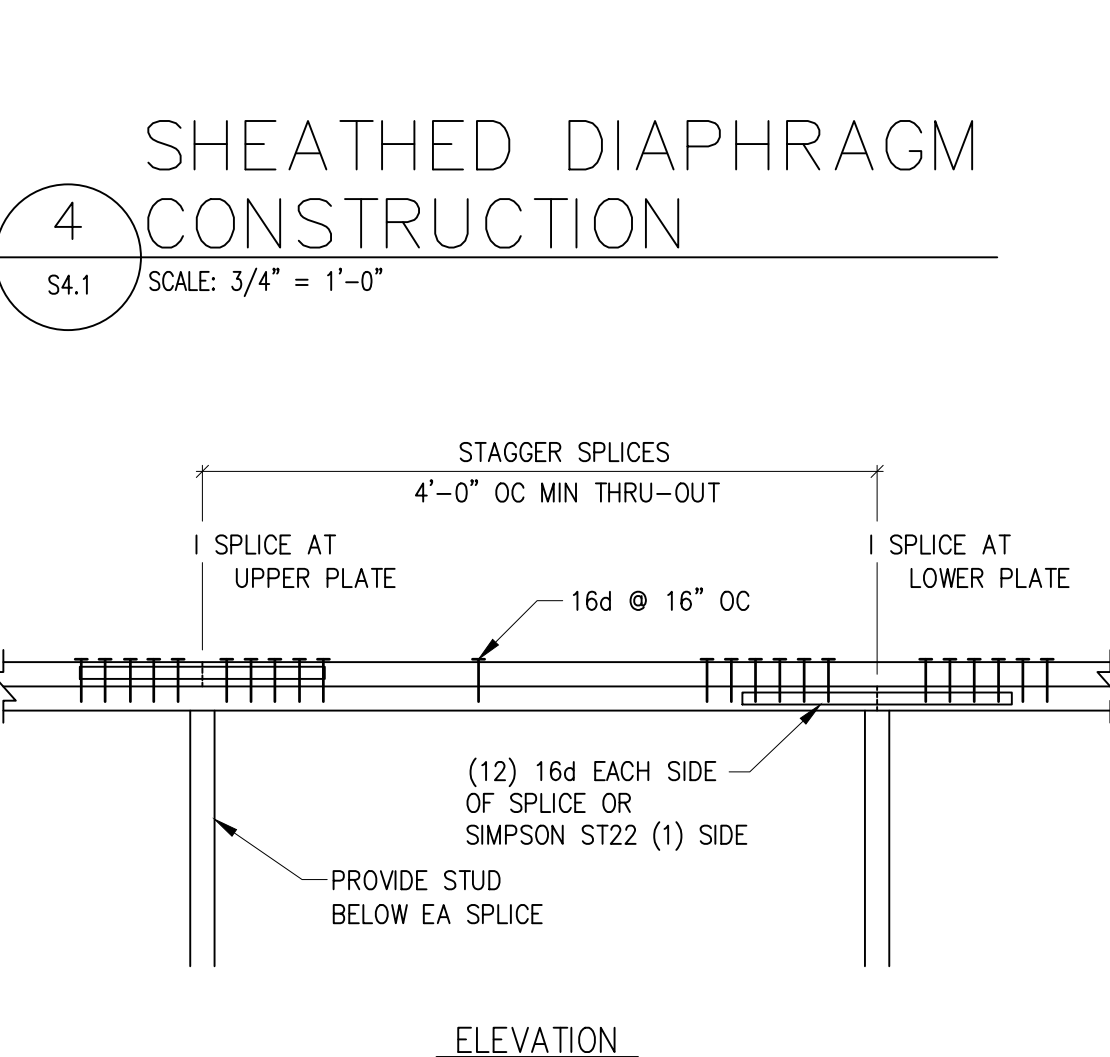
2 HEADER CONNECTION DETAIL  
S4.1 SCALE: 3/4" = 1'-0"



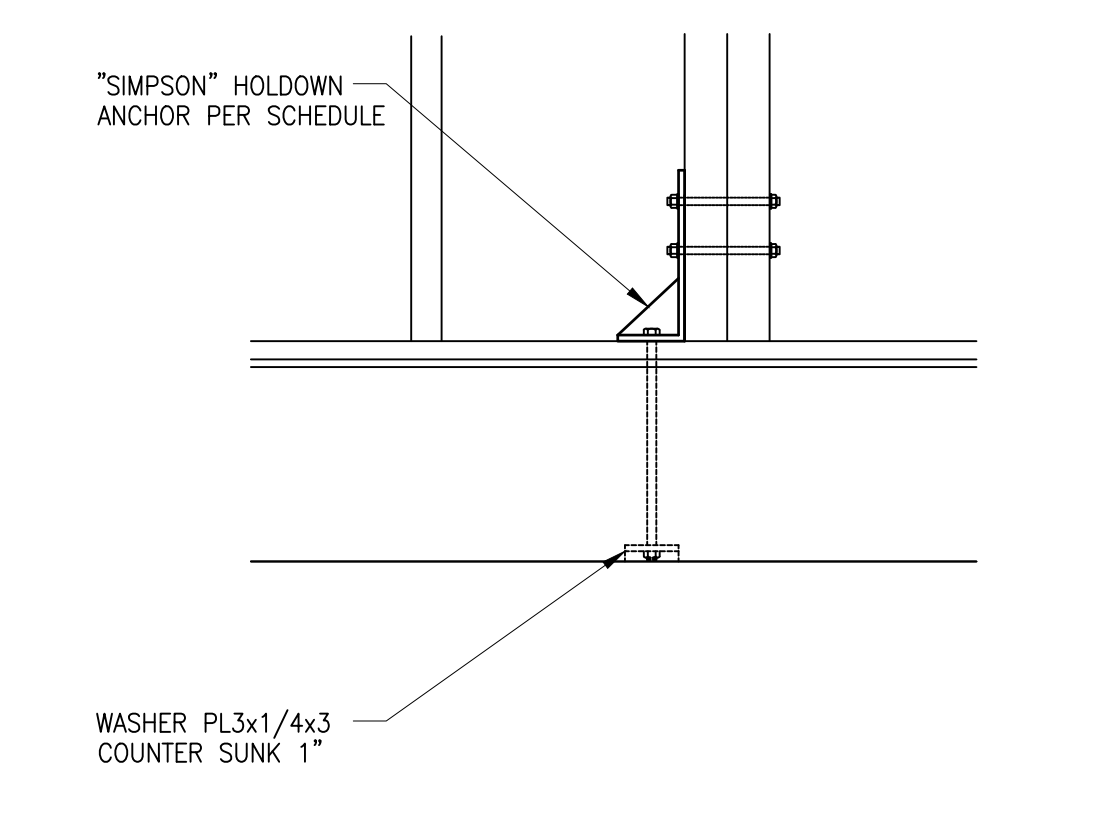
3 HOLD DOWN PLAN VIEWS  
S4.1 SCALE: 3/4" = 1'-0"



4 SHEATHED DIAPHRAGM CONSTRUCTION  
S4.1 SCALE: 3/4" = 1'-0"



5 DBL TOP PLATE SPLICE  
S4.1 SCALE: 3/4" = 1'-0"



6 HOLD DOWN DETAIL  
S4.1 SCALE: 3/4" = 1'-0"

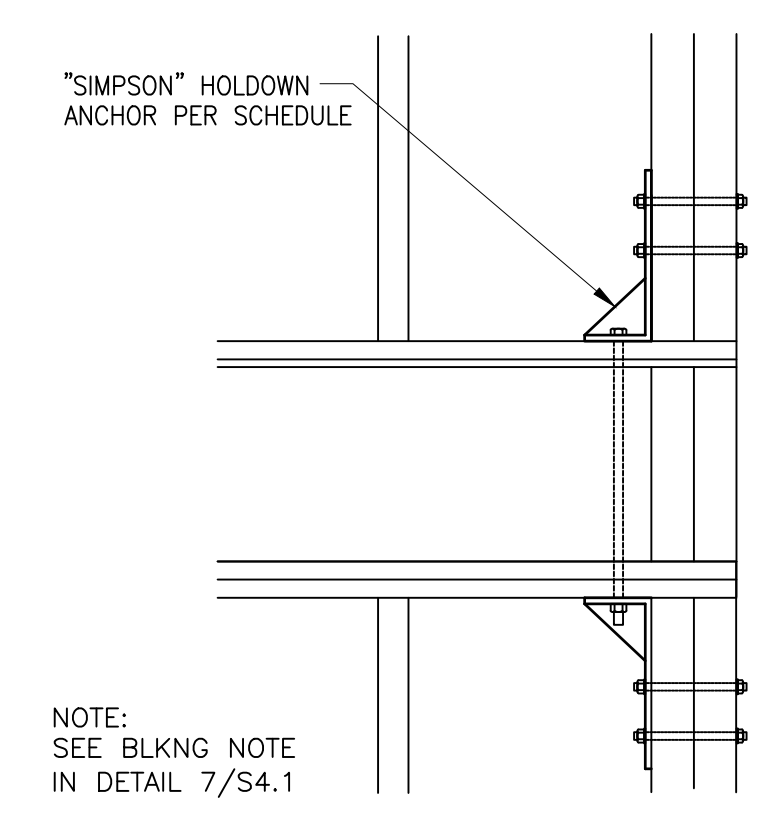
"SIMPSON" HOLD DOWN SCHEDULE					
MARK	HOLD DOWN	ANCHOR BOLTS	STUD BOLTS	MIN POST REQUIRED	ALLOWABLE TENSION (lbs)
					DOUG-FIR
HD1	CS14	15 10d EA END	15 10d	(2) 2x	2490
HD2	HDU2-SDS2.5	SSTB16L	6-SDS 1/4"x2 1/2"	(2) 2x	3075
HD3	HDU4-SDS2.5	SSTB28L	10-SDS 1/4"x2 1/2"	(2) 2x	4565
HD4	HDU8-SDS2.5	SSTB28L	20-SDS 1/4"x2 1/2"	4x6	6970
HD5	HDU11-SDS2.5	SSTB28L	30-SDS 1/4"x2 1/2"	6x6	9535
HD6	HDU14-SDS2.5	SB1x30	36-SDS 1/4"x2 1/2"	6x6	13665

- HOLD DOWN NOTES:
- HOLD DOWNS ARE REQUIRED AS SHOWN ON THE FRAMING ELEVATIONS.
  - AT CORNERS COMMON TO TWO SHEAR WALLS USE THE LARGER OF THE HOLD DOWNS ONLY.
  - ALL HOLD DOWN COLUMNS AND WOOD ATTACHMENTS SHALL BE DF.

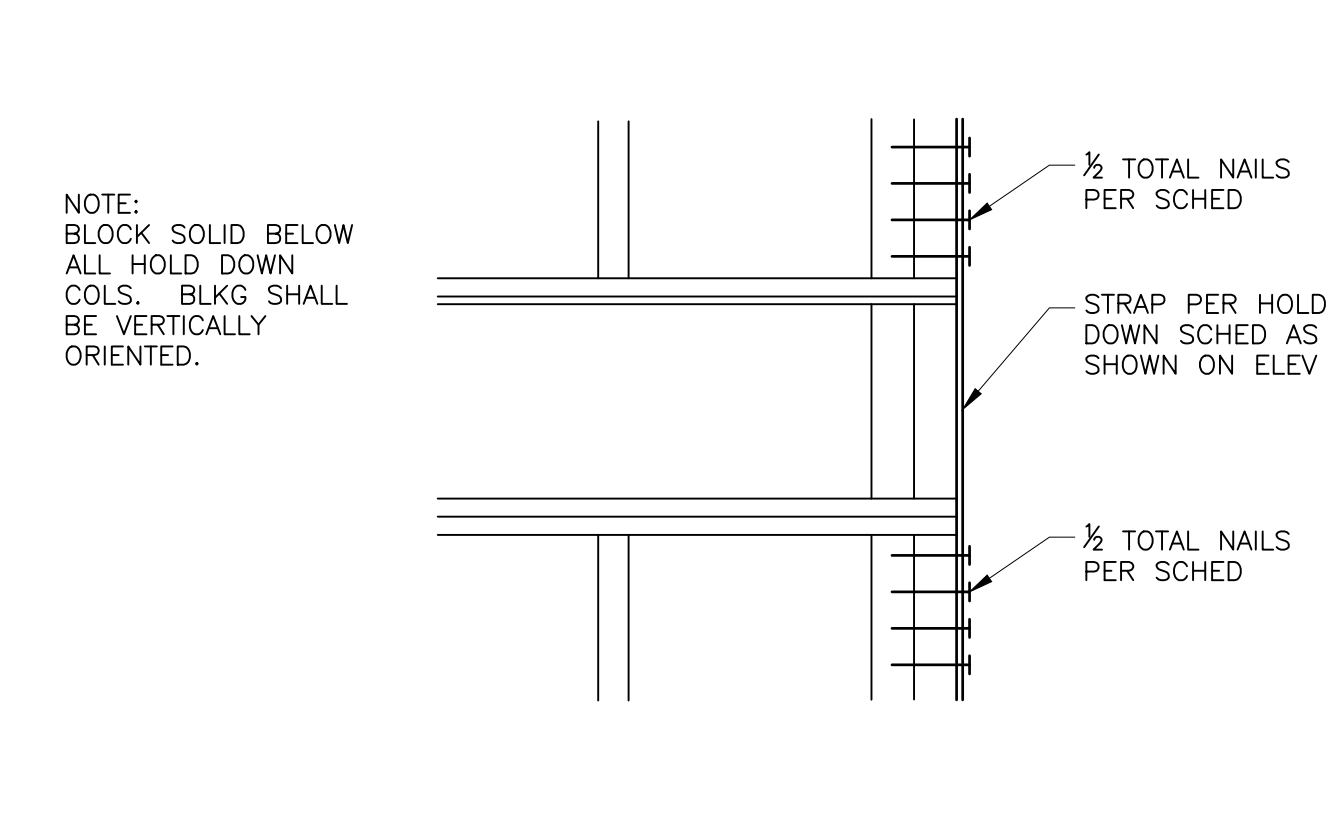
SHEARWALL SCHEDULE								
MARK	APA RATED SHEATHING	NAILING AT PANEL EDGES	PANEL EDGE STUD AND BLKG	RIM JOIST OR BLOCK CONNECTION TO TOP PLATE	DOUG FIR #2, BOTTOM PLATE ATTACHMENT TO WOOD BELOW	PT DOUG FIR #2, SILL PLATE ATTACHMENT		CAPACITY (plf)
						ANCHOR BOLT	SILL	
SW1	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 6" OC	2X	A35 @ 16" OC	(2) 16d @ 16" OC OR 5/8" LAG SCREWS @ 32" OC	5/8" @ 48" OC	2X	310
SW2	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 4" OC	3X MIN	A34 AND LTP4 @ 16" OC	(2) 16d @ 8" OC OR 5/8" LAG SCREWS @ 16" OC	5/8" @ 18" OC	3X MIN	460
SW3	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 12" OC	5/8" @ 12" OC	3X MIN	600
SW4	15/32" PLYWOOD SHEATHING, ONE SIDE	10d @ 2" OC	3X MIN	A35 AND LTP4 @ 16" OC	5/8" LAG SCREWS @ 8" OC	5/8" @ 9" OC	3X MIN	770
SW5	15/32" PLYWOOD SHEATHING, TWO SIDES	10d @ 3" OC	3X MIN	A35 AND LTP4 @ 8" OC	5/8" LAG SCREWS @ 4" OC	5/8" @ 6" OC	3X MIN	1200

- SHEAR WALL NOTES:
- INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
  - WHERE SHEATHING IS APPLIED ON BOTH FACES OF WALL, PANEL JOINTS SHALL BE STAGGERED SO THAT JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUDS.
  - BLOCKING IS REQUIRED AT ALL PANEL EDGES.
  - PROVIDE SHEARWALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON PLAN.
  - INTERMEDIATE FRAMING TO BE WITH 2X MINIMUM MEMBERS. FIELD NAILING @ 12" OC.
  - PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
  - WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, PROVIDE DOUBLE JOIST, RIM OR EQUAL ATTACH PER DETAILS.
  - ALL SHEAR WALL FRAMING TO BE DF. NO OTHER SPECIES ALLOWED.

7 SHEAR WALL & HOLD DOWN SCHEDULES  
NO SCALE

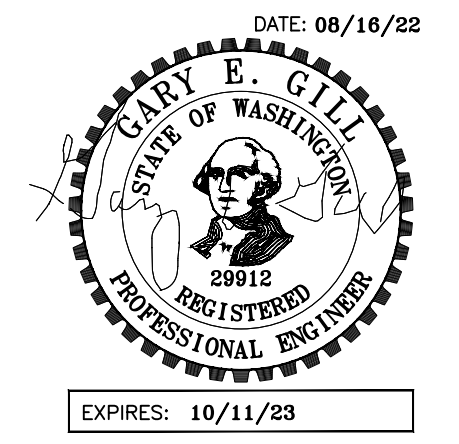


7 HOLD DOWN DETAIL  
S4.1 SCALE: 3/4" = 1'-0"



8 HOLD DOWN DETAIL  
S4.1 SCALE: 3/4" = 1'-0"

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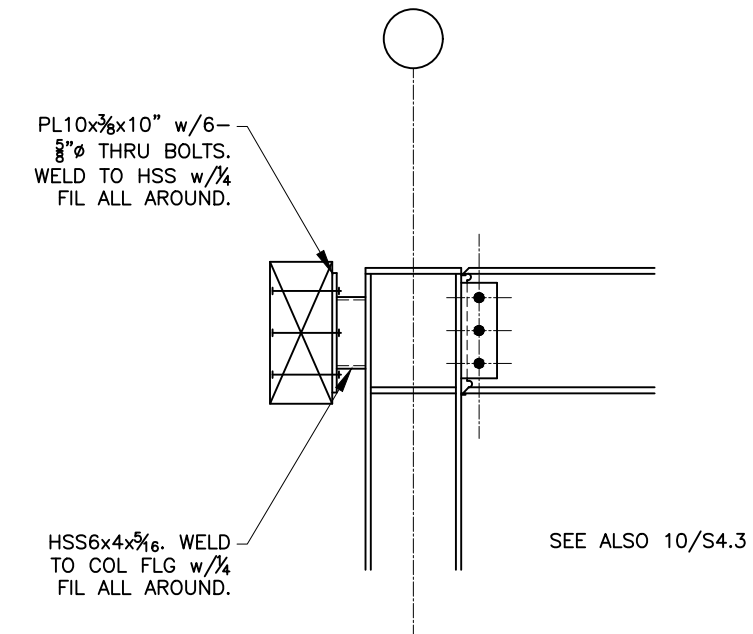
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PERMIT SUBMITTAL 02-26-2022  
PERMIT COMMENTS RESPONSE 08-16-2022

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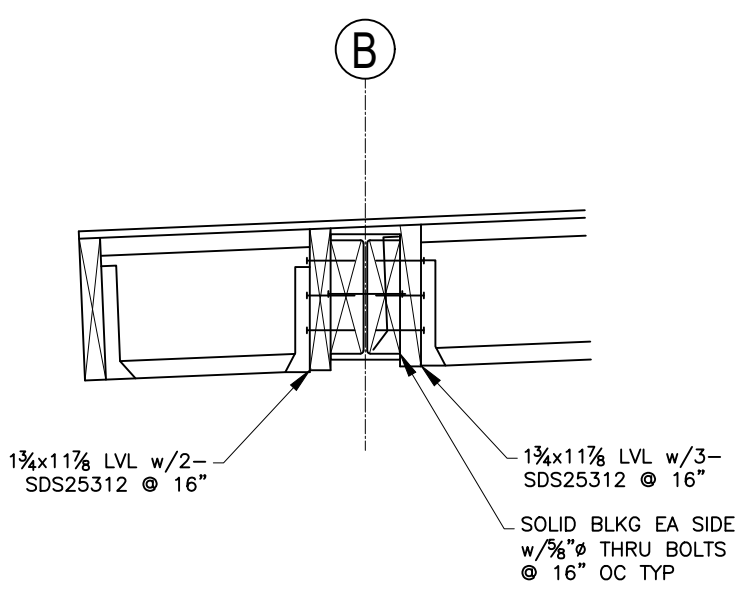
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DETAILS  
SHEET:

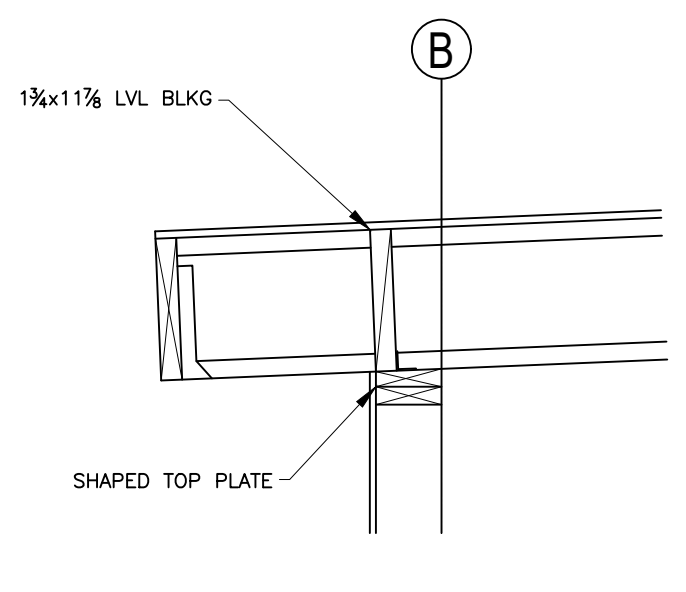
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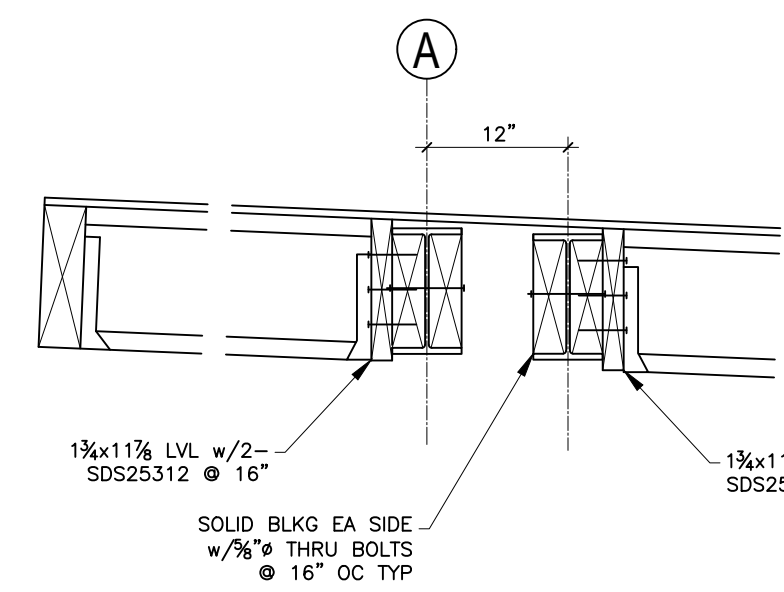
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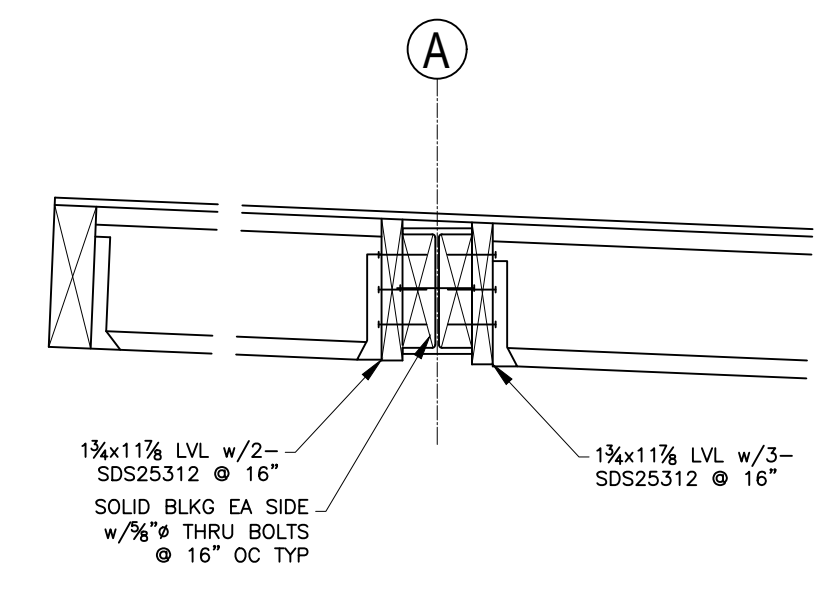
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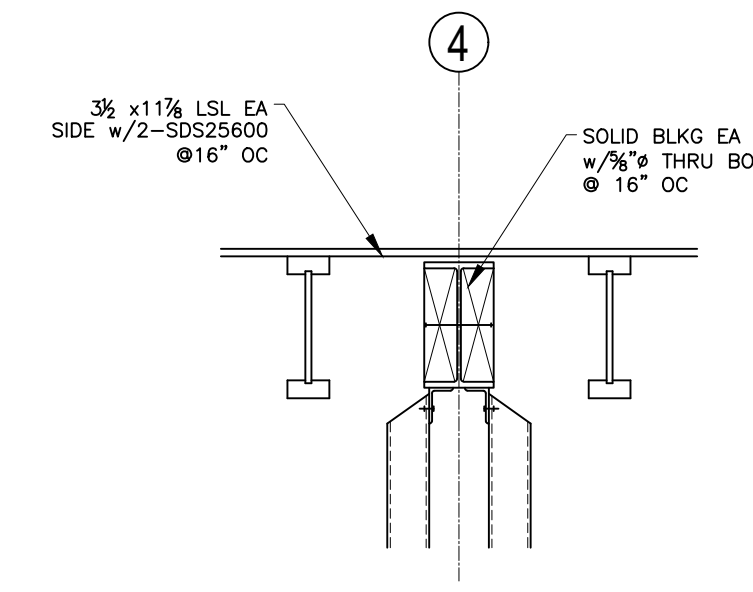
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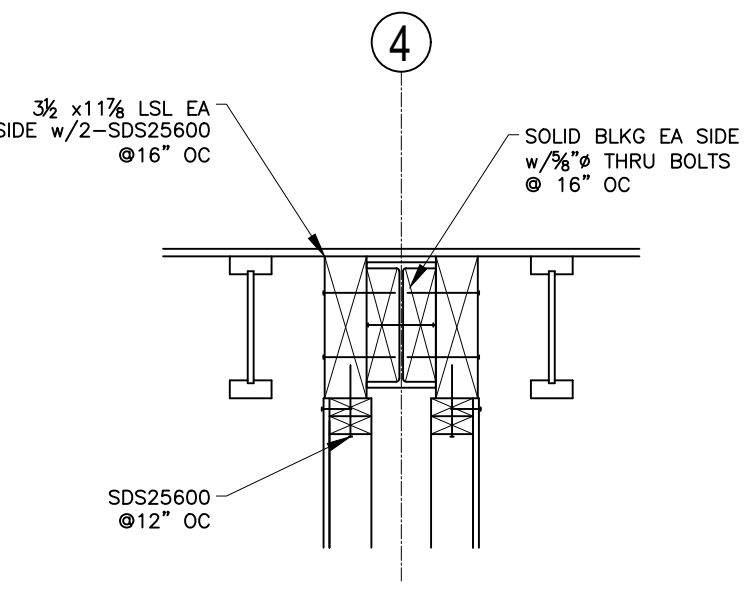
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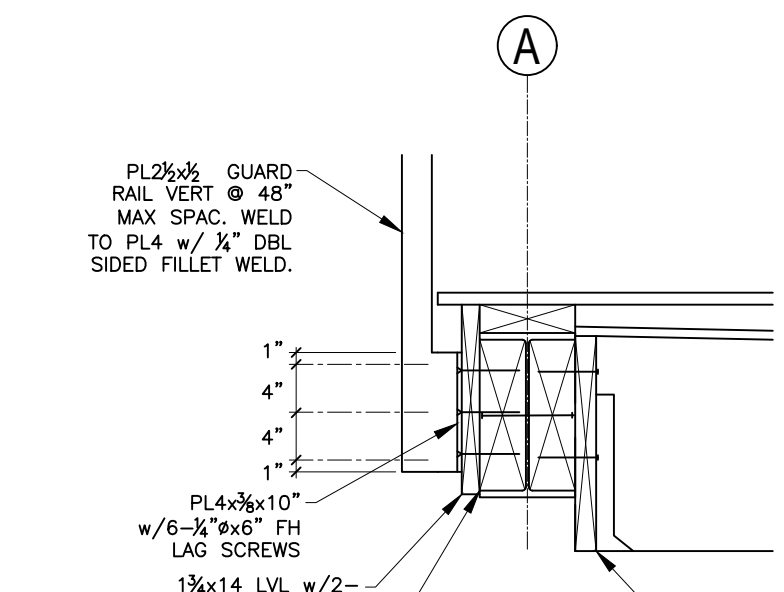
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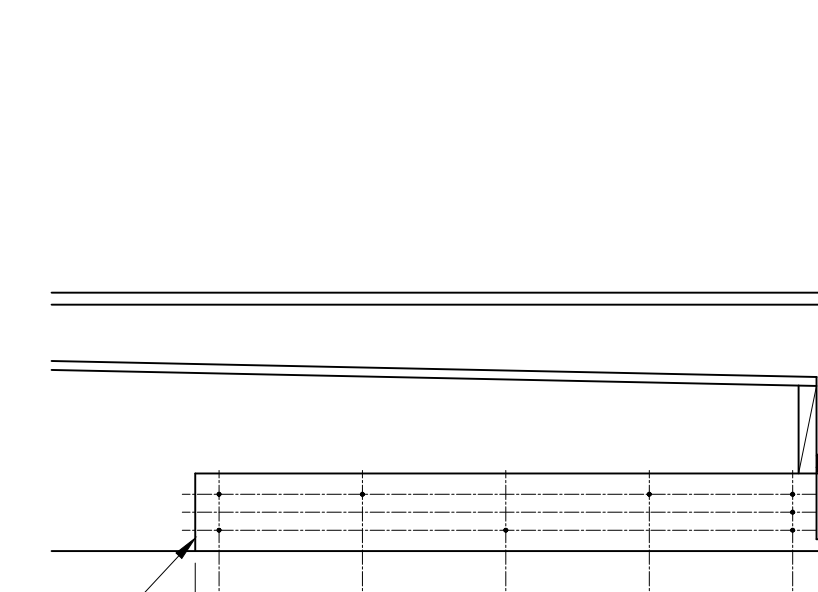
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9 SECTION  
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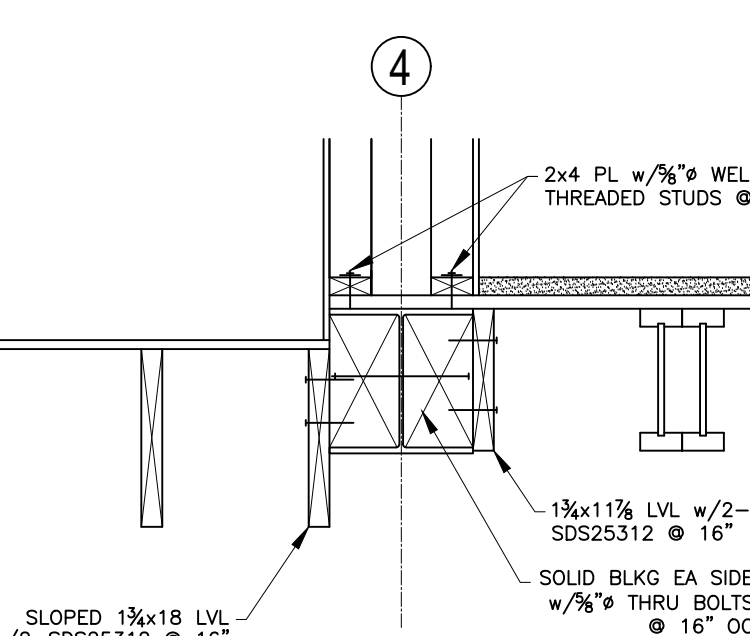
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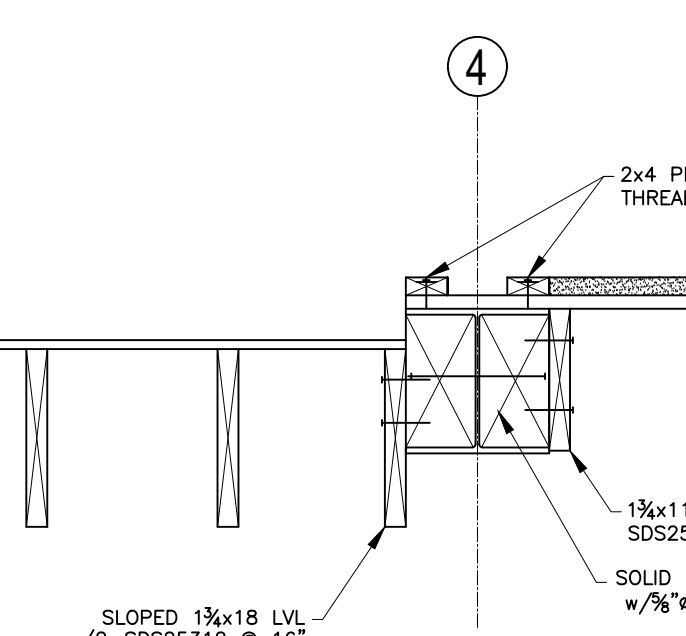
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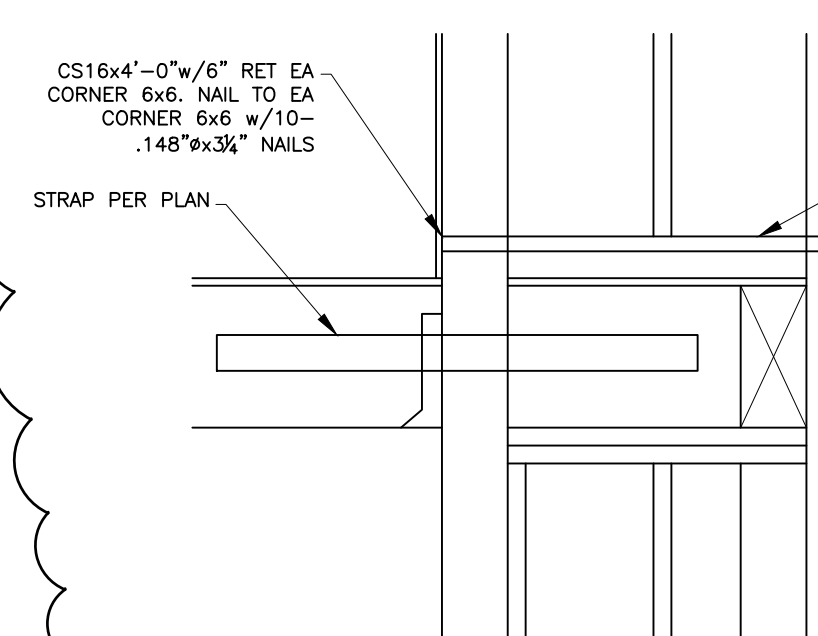
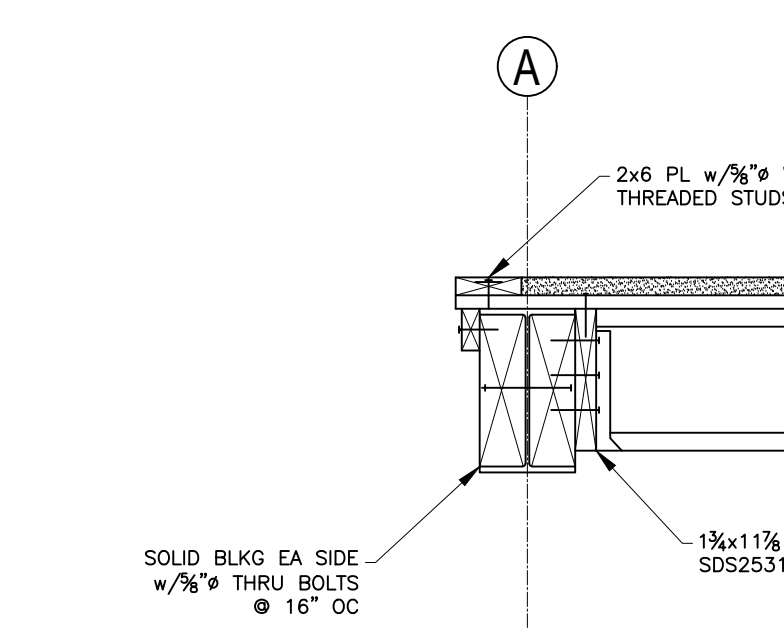
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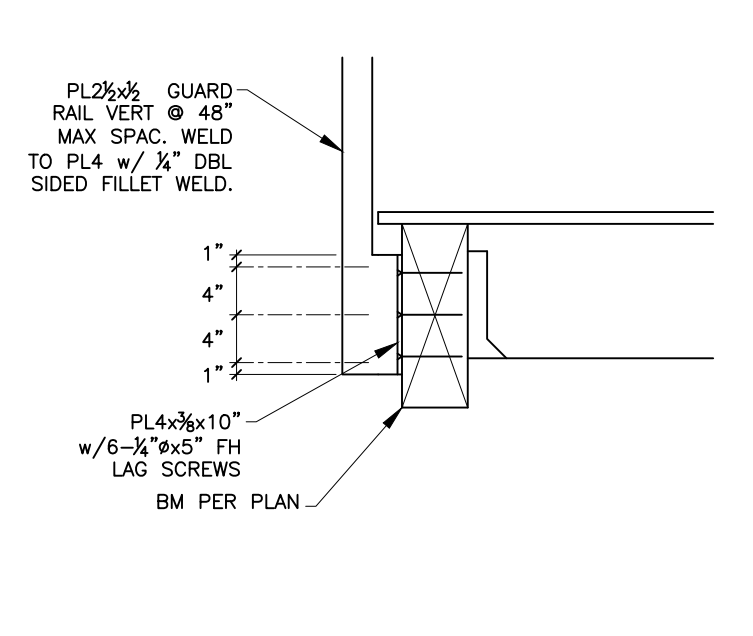
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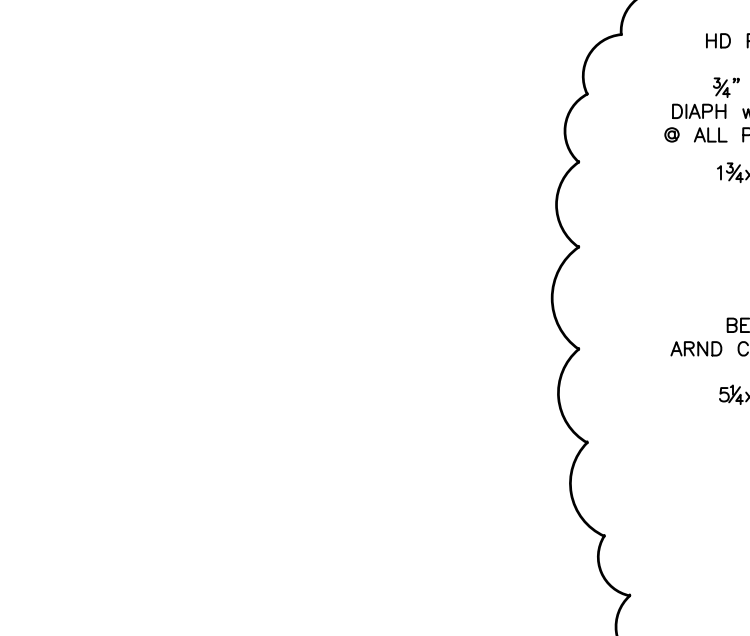
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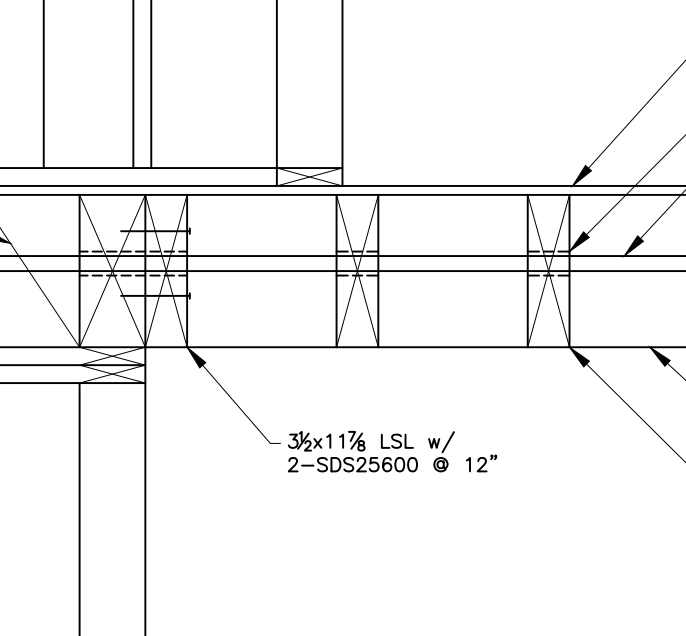
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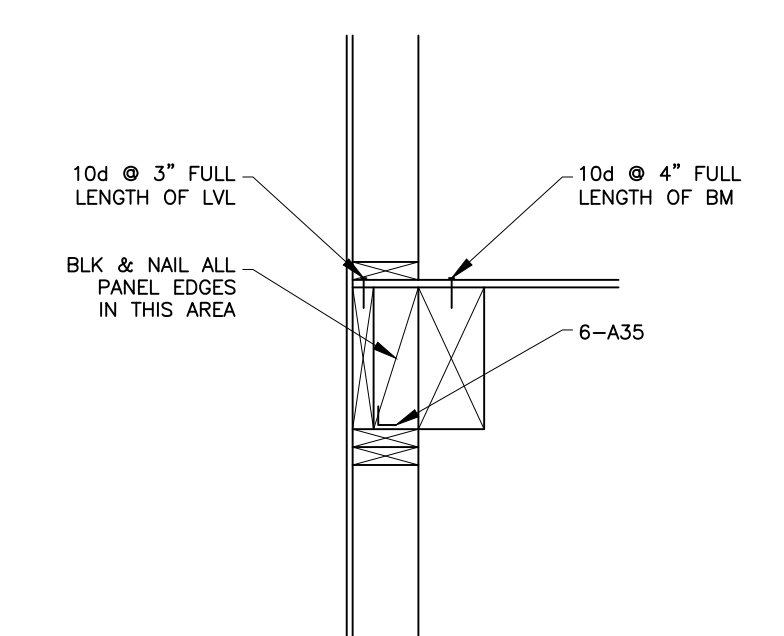
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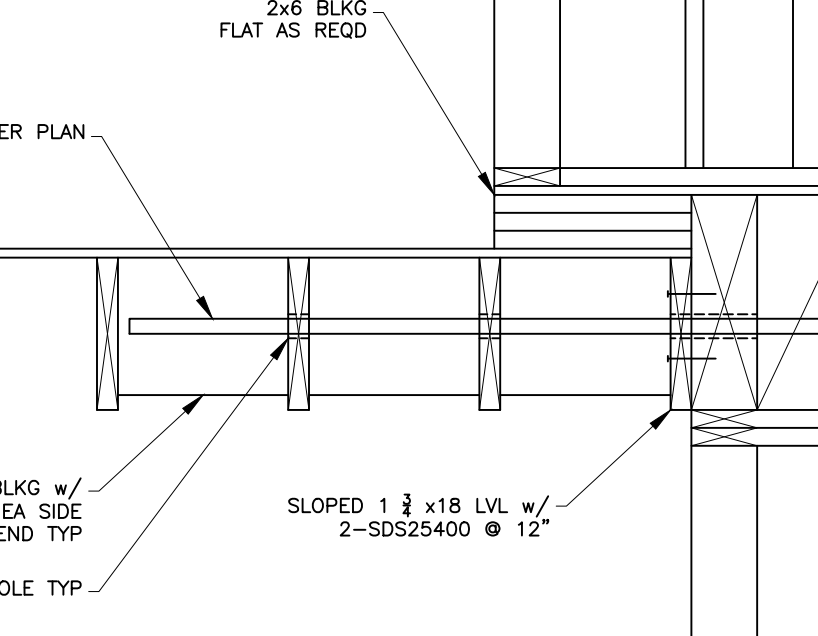
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17 SECTION  
 S4.2 SCALE: 3/4" = 1'-0"



16 SECTION  
 S4.2 SCALE: 3/4" = 1'-0"



16 SECTION  
 S4.2 SCALE: 3/4" = 1'-0"

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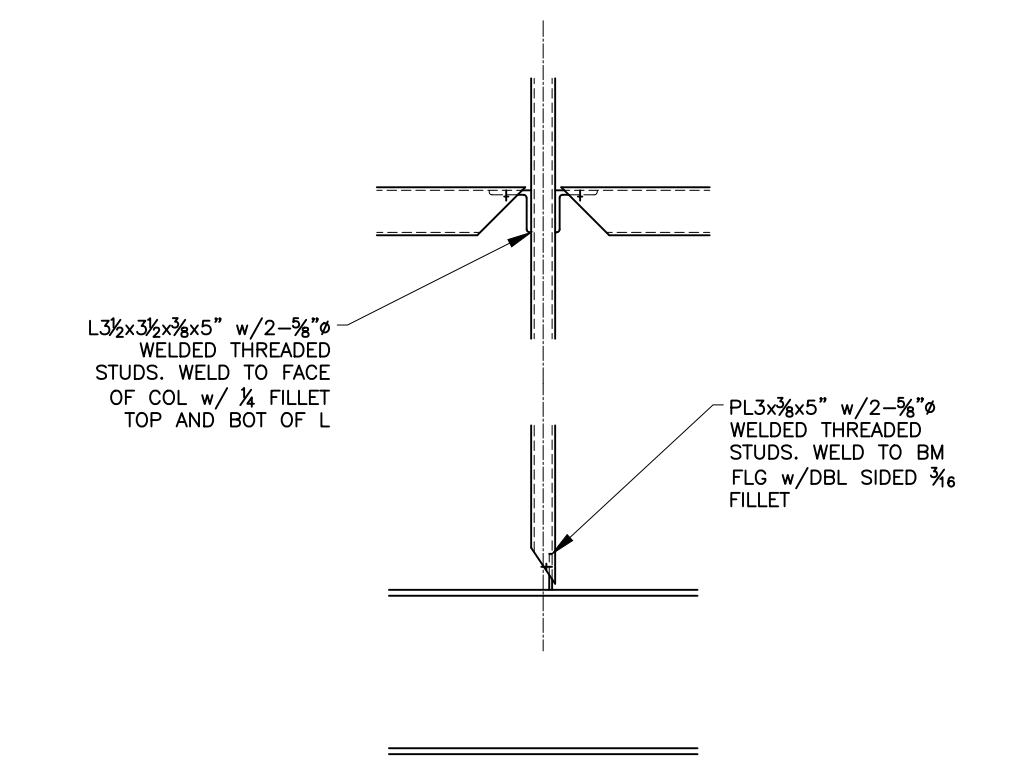
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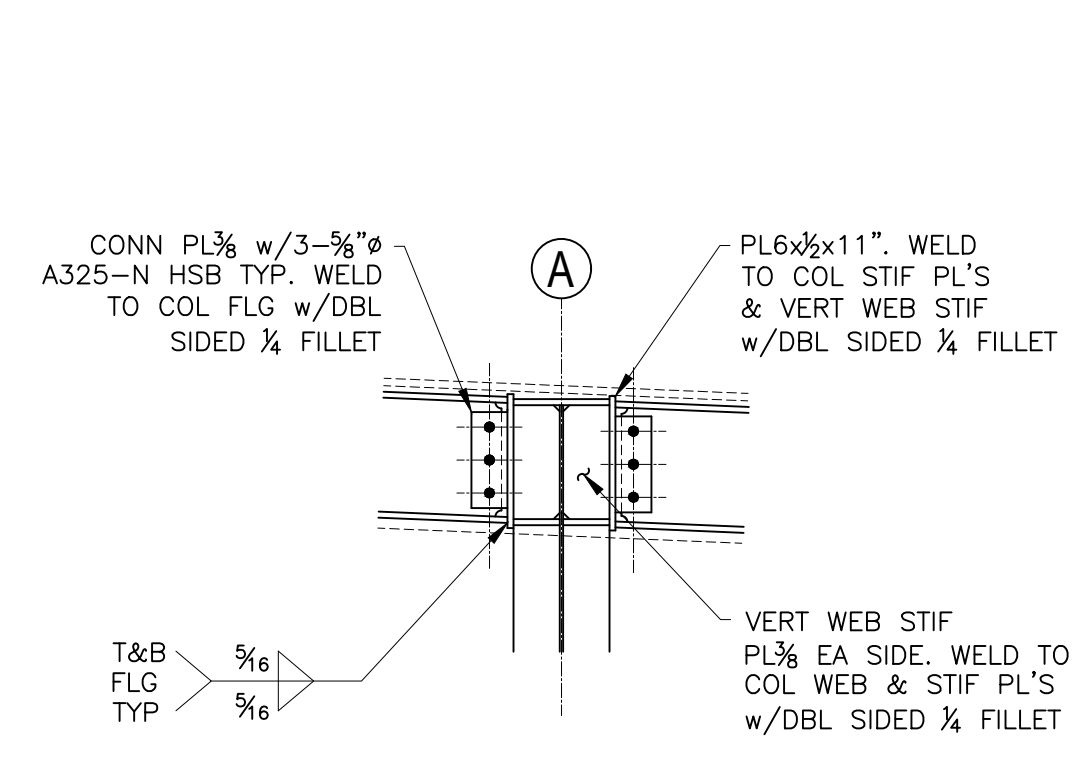
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SHEET:  
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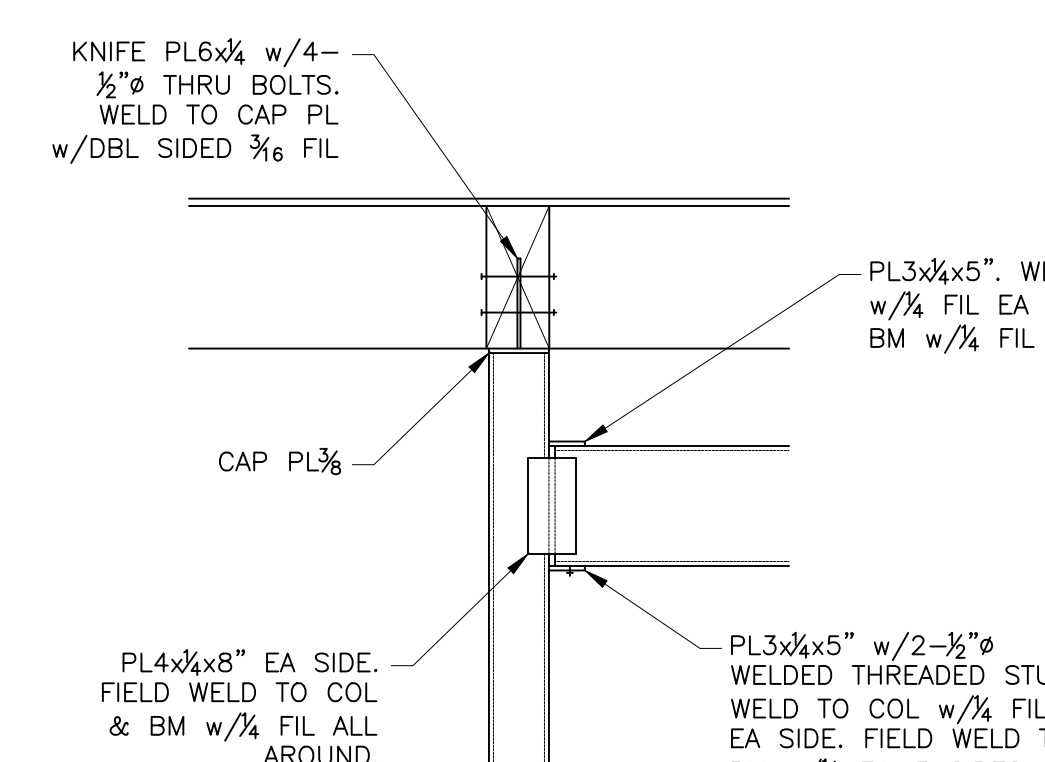




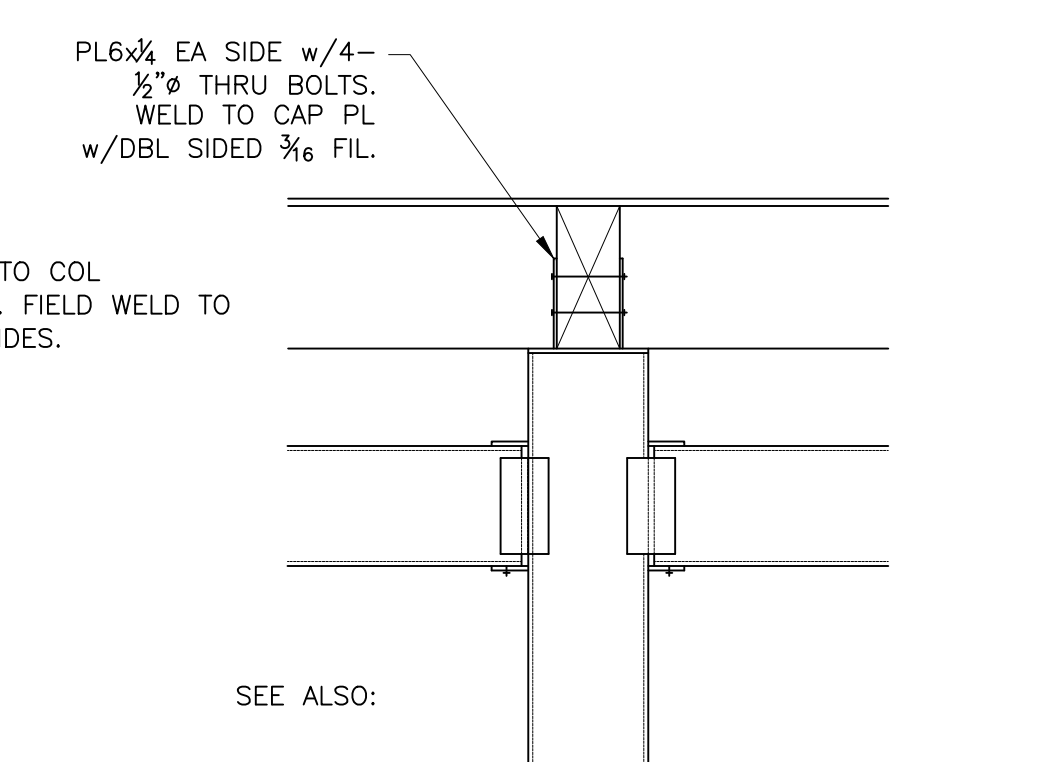
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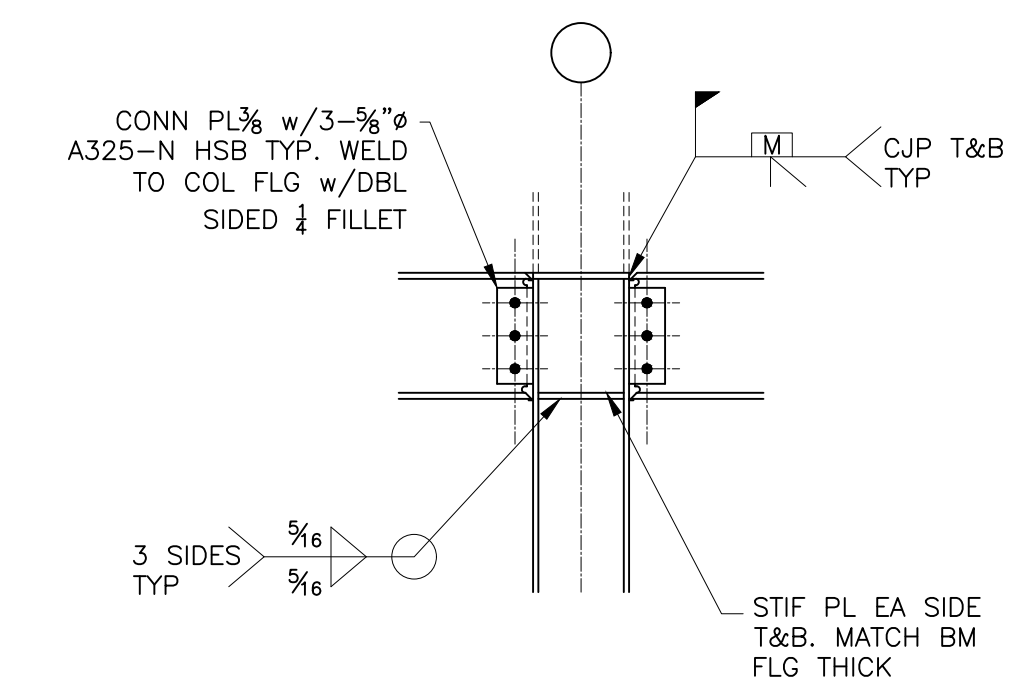
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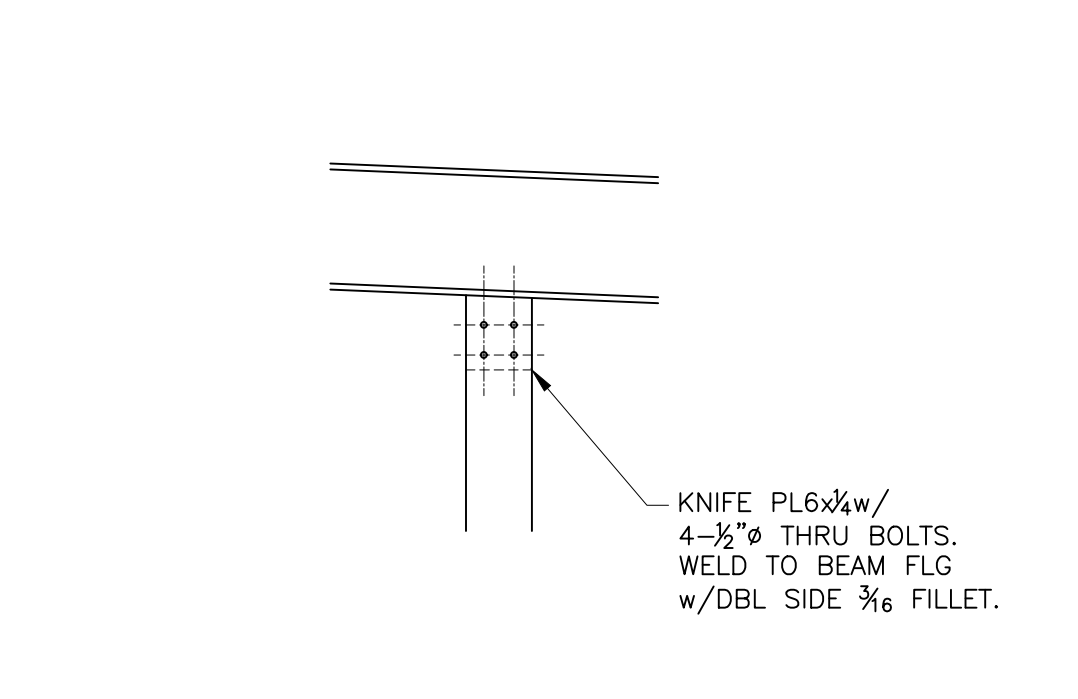
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2 SECTION  
S4.3 SCALE: 3/4" = 1'-0"



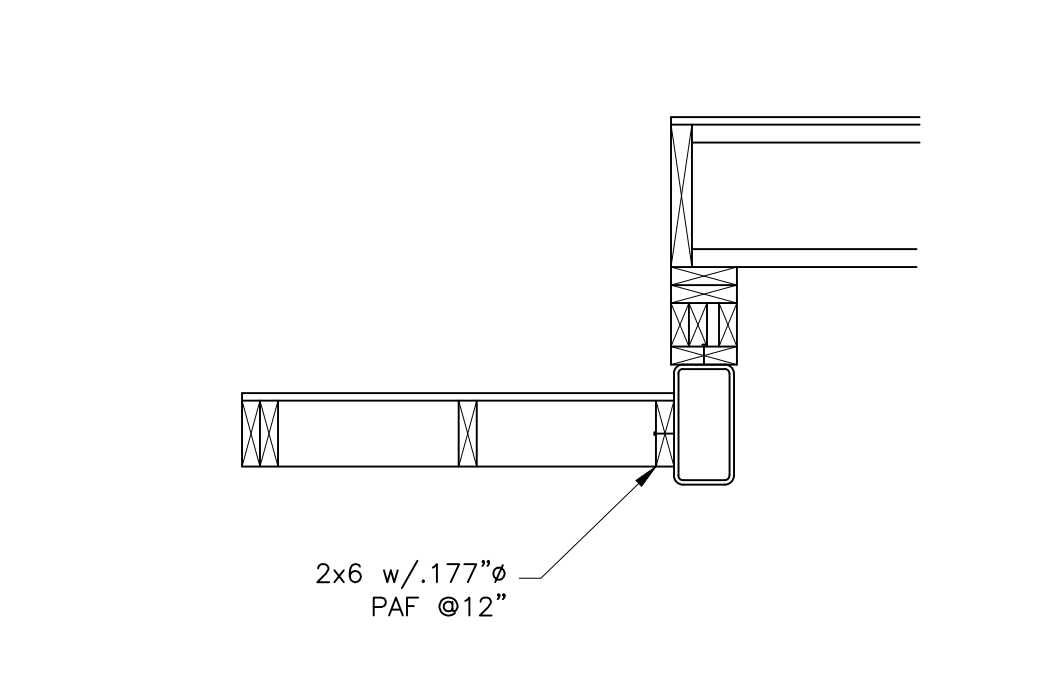
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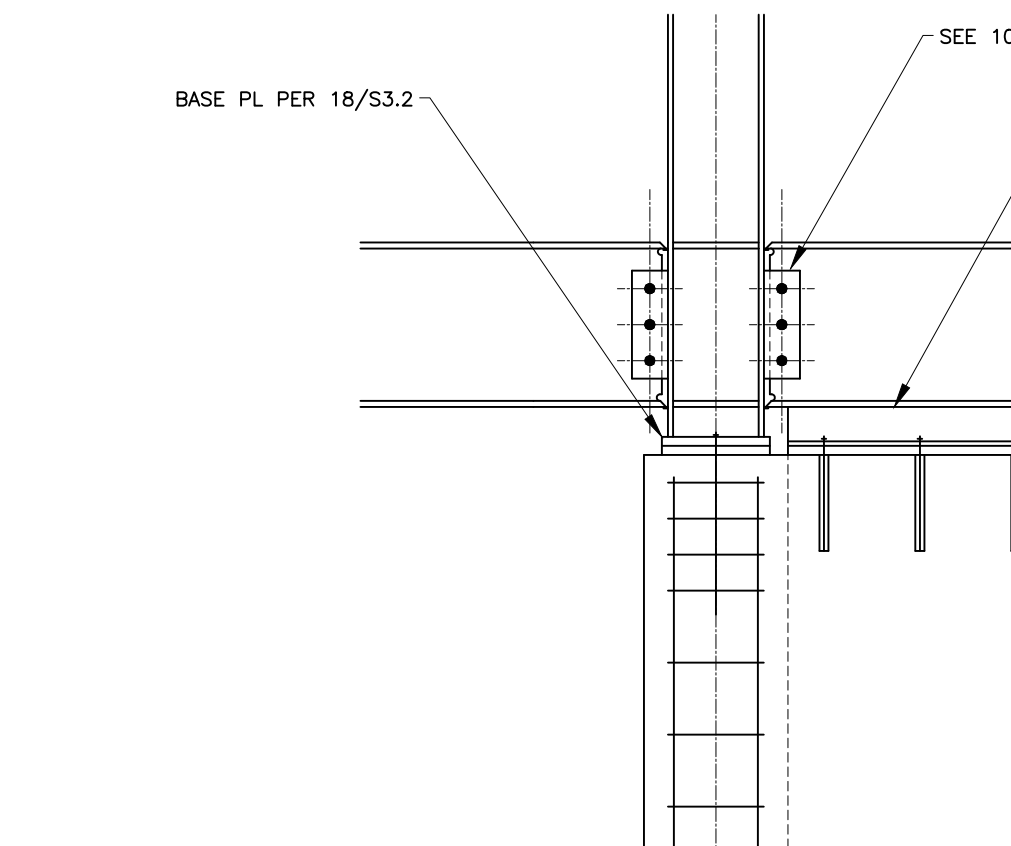
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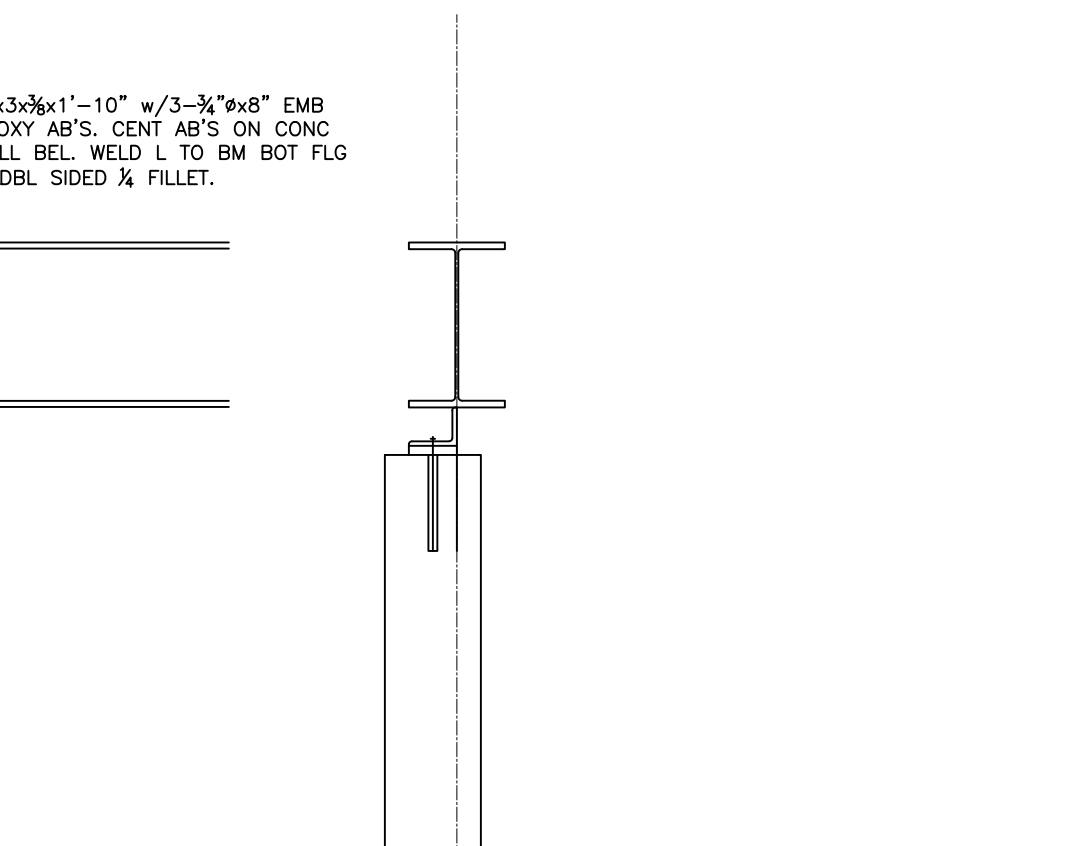
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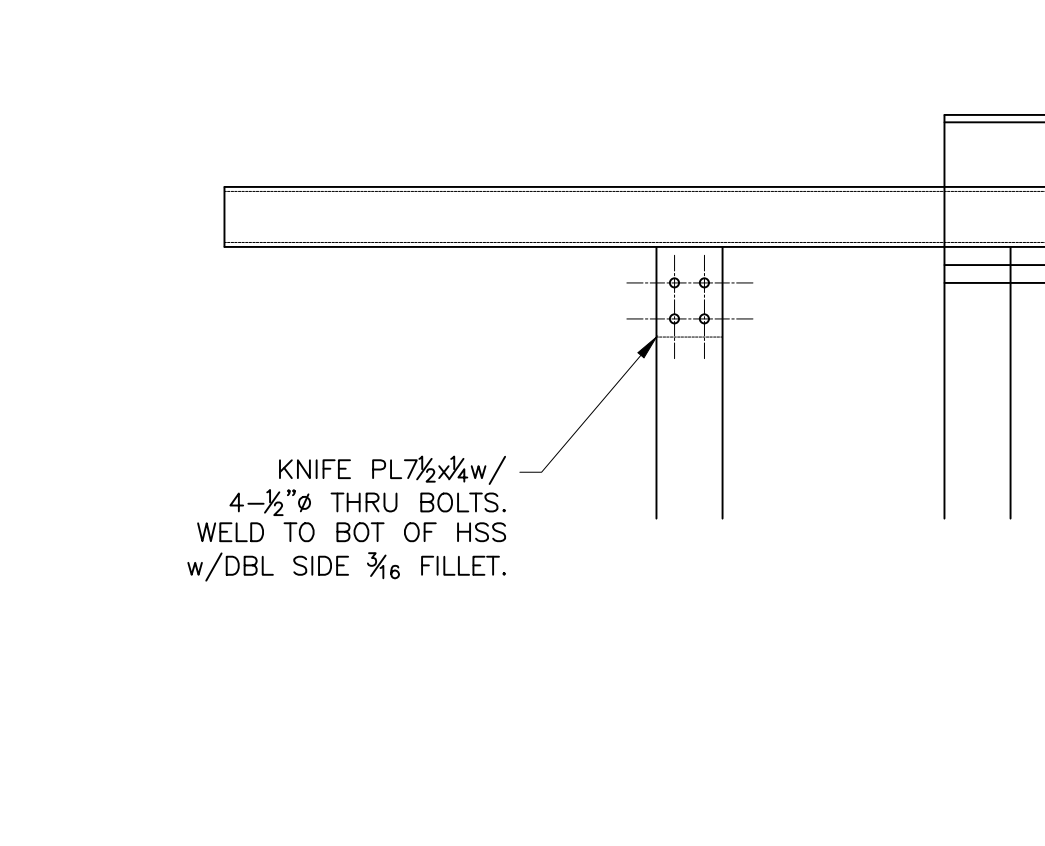
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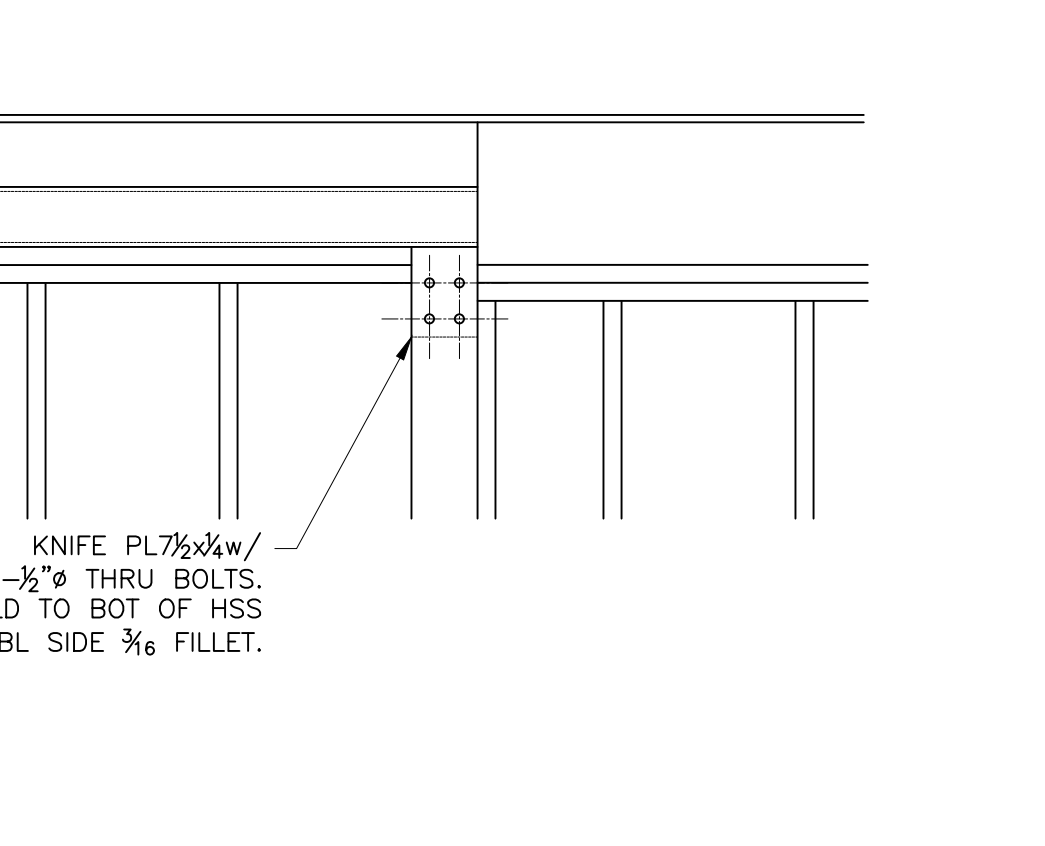
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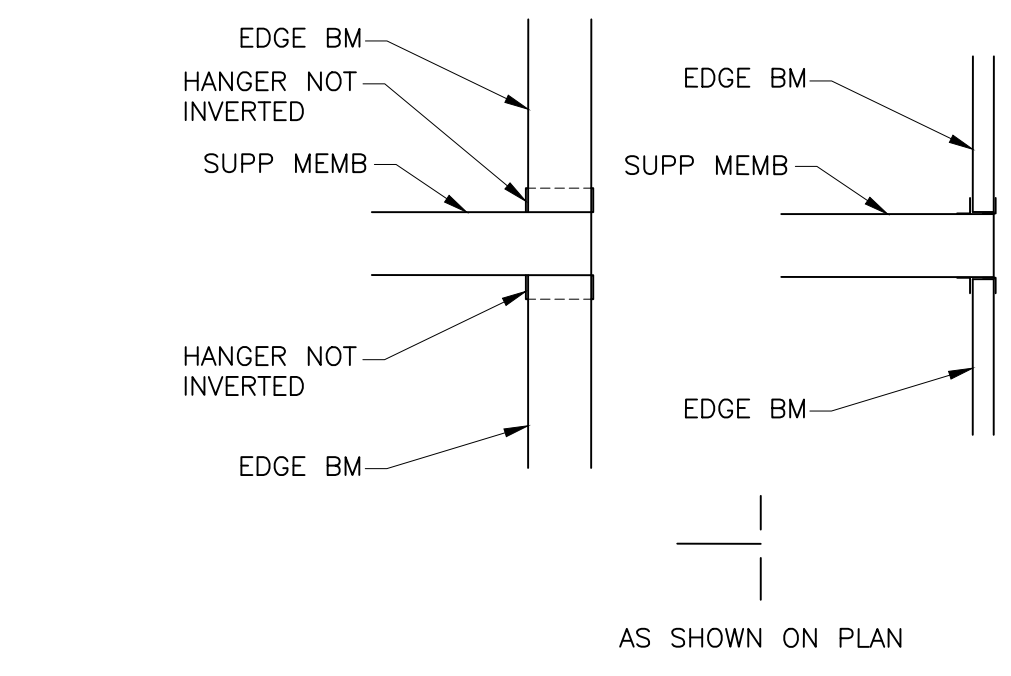
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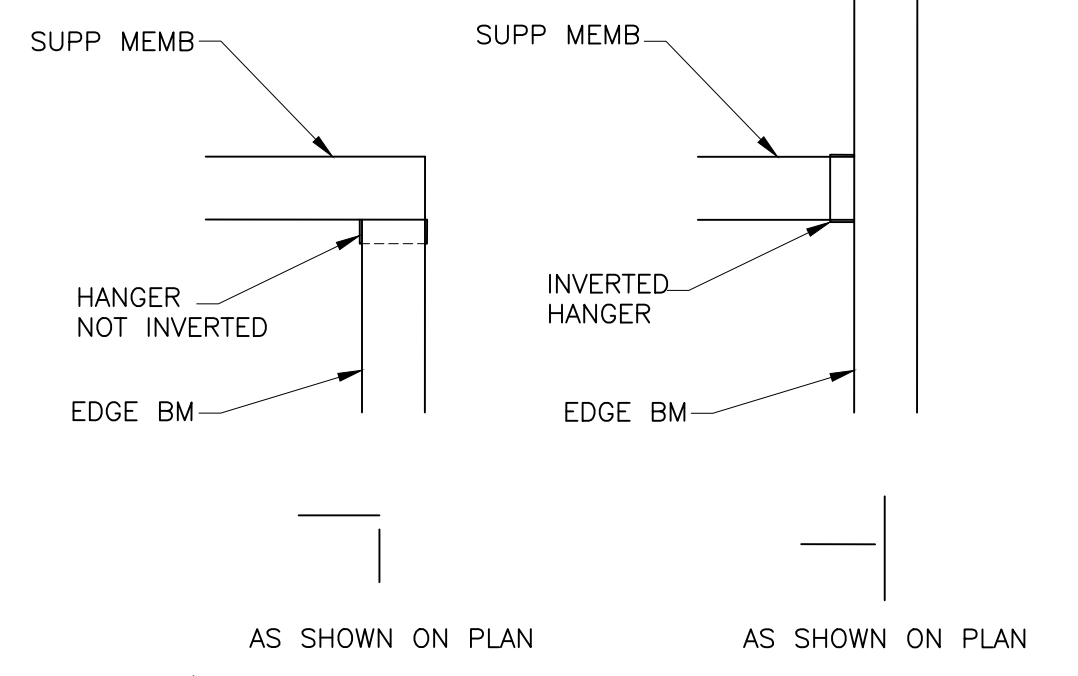
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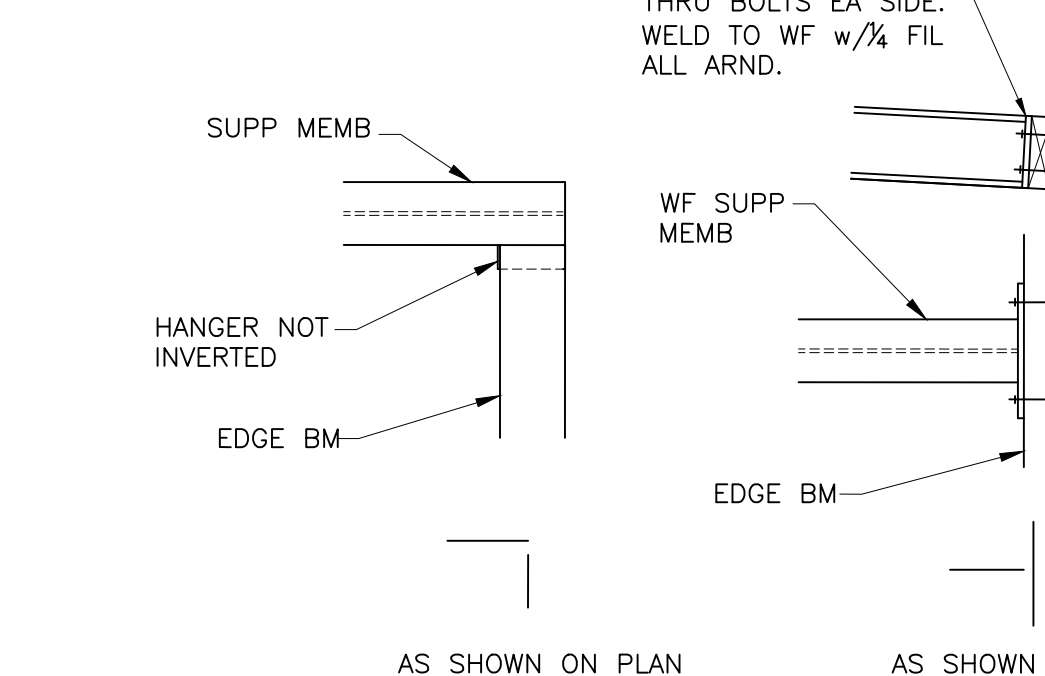
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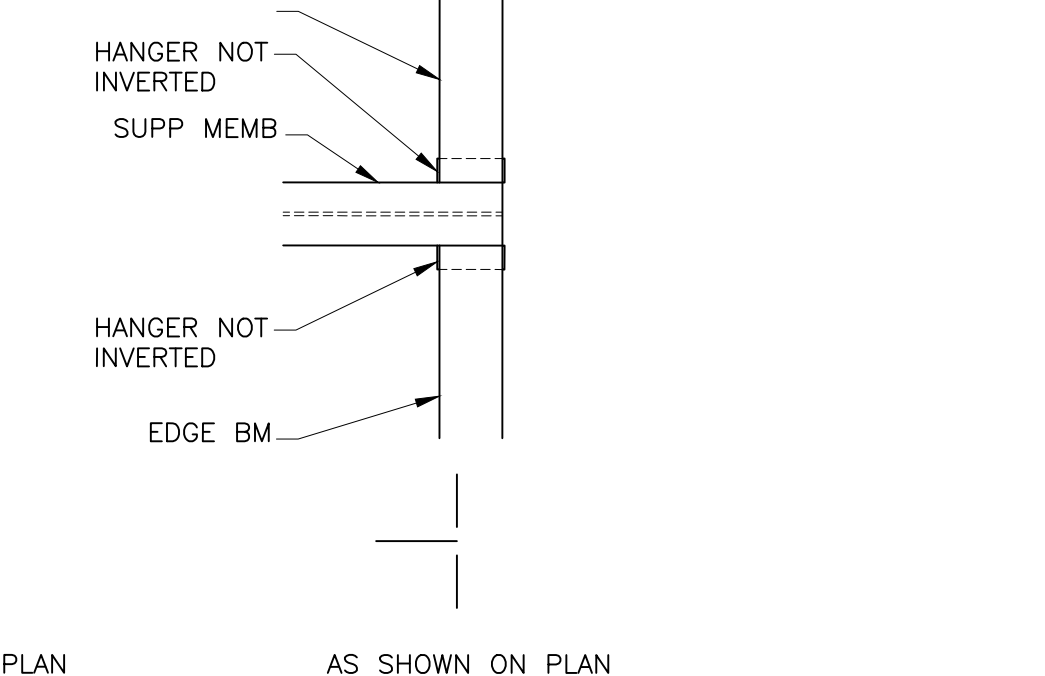
20 TYP EDGE BM CONN  
S4.3 SCALE: 3/4" = 1'-0"



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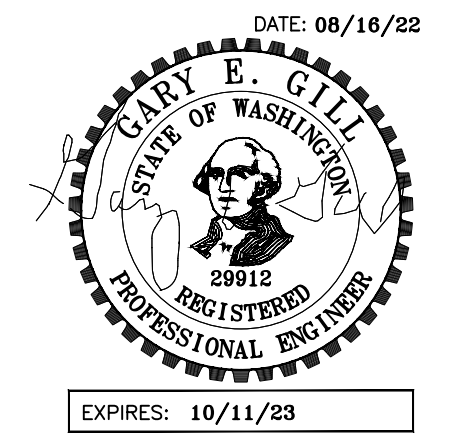
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S4.3 SCALE: 3/4" = 1'-0"

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SHEET TITLE:  
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SHEET:  
S4.3